

C O U N C I L L O R S

ATTACHMENT

8.1.2 Baynton West Release of Land

Design Guidelines – Baynton West

**Ordinary Council Meeting
Monday 21 September 2009**



Baynton
WEST

KARRATHA

DESIGN GUIDELINES

WHAT YOU NEED TO KNOW
ABOUT PLANNING YOUR
NEW HOME IN KARRATHA



An aerial photograph of a river delta, likely the Nile, showing a wide river branching into numerous smaller channels. The landscape is a mix of brown and green, with some urban areas visible in the distance. The word "CONTENTS" is printed in large, white, bold, sans-serif capital letters in the upper right quadrant of the image.

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1. INTRODUCTION

These Design Guidelines apply to all single residential lots, being both standard and cottage lot product, within LandCorp's 'Baynton West' development in Karratha and are designed to facilitate a high standard of sustainable housing and high quality aesthetics within the residential estate.

The 'Baynton West' subject area, located to the south of Dampier Road and west of Baynton Drive is illustrated in Figure 1 below.

The Guidelines (including the Baynton West Cottage Lots Detailed Area Plans) should be read in conjunction with the Shire of Roebourne Town Planning Scheme No. 8 and Local Laws and Policies, the Residential Design Codes of Western Australia (the R-Codes), the Building Code of Australia (BCA) and other statutory requirements.

The 'Mandatory Criteria' of the Design Guidelines must be met in the design for all residential development proposals. The 'Design Recommendations' specify design and construction recommendations to create a more sustainable housing design and aid in achieving the objectives of the Design Guidelines, but are not mandatory.

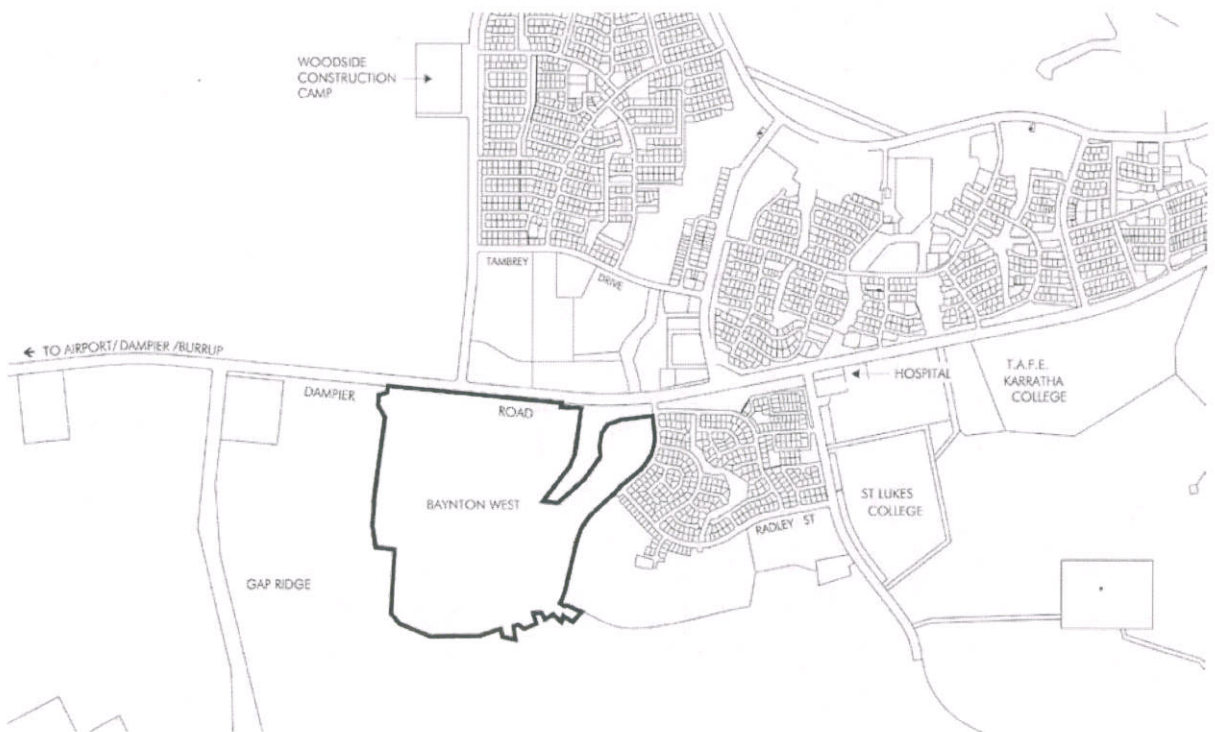


FIGURE 1

THE DESIGN GUIDELINES WILL HELP YOU AND YOUR CHOSEN ARCHITECT OR BUILDER TO DESIGN, CONSTRUCT AND FIT-OUT YOUR HOME AND GARDEN SO THAT IT HAS LESS IMPACT ON THE ENVIRONMENT, IS MORE LIVEABLE, PROTECTS YOUR INVESTMENT AND WILL SAVE YOU MONEY IN THE LONGER TERM.

2. BENEFITS OF THE DESIGN GUIDELINES

These guidelines have been carefully considered for many reasons. One of which is to ensure the region's sustainability for generations to come. By employing initiatives such as water conservation and energy efficiency, your home will have less impact on the environment. Plus, it will help you save money in the long run.

Your home will also be designed with the Pilbara climate in mind. This will allow your home to maximise cooling summer breezes and shading, encourage natural air circulation, and make sure your living environment is as comfortable as possible.

3. RELATIONSHIP TO LOCAL GOVERNMENT PLANNING

The Shire of Roebourne has Town Planning jurisdiction over the site through Town Planning Scheme No. 8, which is the operative planning instrument. As always, buyers should make themselves familiar with the Scheme requirements. In most cases, town planning approval will not be required for single residential buildings but may be for transportable or relocatable houses.

The Building Codes of Australia (BCA) also continue to apply to all new buildings and an application for building licence is required for all houses.

Variations to the 'Acceptable Development' provisions contained in the R-Codes are subject to separate Council approval. In such cases, an Application for Single House/ Outbuildings Codes Variation form (refer www.roebourne.wa.gov.au) must be submitted with your application for building licence. A written submission demonstrating how the corresponding Performance Criterion has been met, is irrelevant or cannot be met must be stated on the form.

Purchasers of land in the Baynton West subdivision are strongly encouraged to seek the Shire of Roebourne's in-principle agreement to any R-Codes variation before submitting plans to LandCorp's architect. Failure to do this may result in additional costs associated with preparation and lodgement of amended plans.

4. SUBMITTING YOUR APPLICATION

To ensure that applications can be fully assessed, it is essential that the following information be submitted with each Application for Design Guidelines Approval:

↘ Site plan indicating:

- The proposed levels and other significant site features such as street poles and pit lids;
- The location of vehicle parking/storage;
- The location and design of all proposed buildings, access

driveways, paths, walls, screens, fences, all roofed areas, outdoor cooking facilities, outbuildings, clothes drying facilities and all mechanical equipment.

- ↘ Landscape plan depicting any proposed landscaping for the allotment including tree, shrub, groundcover and lawn species, and reticulation systems.
- ↘ Floor plans for all buildings including the location of ceiling fans, window and door opening (including use of any louvres), extent of eaves, and outdoor living areas.
- ↘ Elevations for all buildings detailing the external materials, finishes and colours. The elevations are to be accurately related to existing and finished ground levels.
- ↘ Sections through all buildings showing intended construction details including ceiling heights, insulation and sisalation within roof/ceiling and walls where applicable.
- ↘ Specifications of plumbing fixtures and fittings or statement of compliance with the noted criteria.
- ↘ An Electrical Plan detailing the selected hot water system including manual switch, ceiling fan locations, installed electrical appliances and any installed external lighting systems.
- ↘ Fencing plans including the materials, finishes and colours.

5. THE APPROVAL PROCESS

To assist in helping your project to comply with the Mandatory Requirements, it is recommended that you submit your preliminary concept design to LandCorp's architect as soon as possible.

Before applying for a Building Licence (or Planning Approval if required) or undertaking any development on the land, an owner or their architect or builder, must submit to LandCorp:

- an Application for Design Guidelines Approval; and
- 2 full hard copy sets of all appropriate drawings as outlined in the Application Form.

Should LandCorp consider that the plans do NOT substantially achieve any one of the Mandatory Design Criteria, they will be returned with a request to amend the plans or provide additional justification for the variation, possibly at an additional cost.

Should LandCorp deem the plans to substantially achieve ALL the Mandatory Design Criteria or be satisfied with any justified variation, the plans will then be endorsed and one full set returned so that the endorsed plans can then be lodged with Council as part of the planning and/or building application.

Landowners and/or builders are encouraged to take advantage of a free one hour design advice session from LandCorp's appointed architects.

The completed Application for Design Guidelines Approval and Design Guidelines Checklist and associated plans and accompanying information are then to be submitted to LandCorp's appointed architect. Details can be found on <http://www.landcorp.com.au> or by calling the Baynton West project manager on 9482 7499.

Notwithstanding the approval process outlined in the preceding paragraphs, purchasers or their chosen builder or architect should ensure that any proposed variations to the R-Codes or other town planning scheme requirements are acceptable in-principle to the Shire of Roebourne. This will reduce the likelihood of incurring additional costs as a result of having to amend plans as part of the Shire's subsequent approval process

THE APPROVAL PROCESS

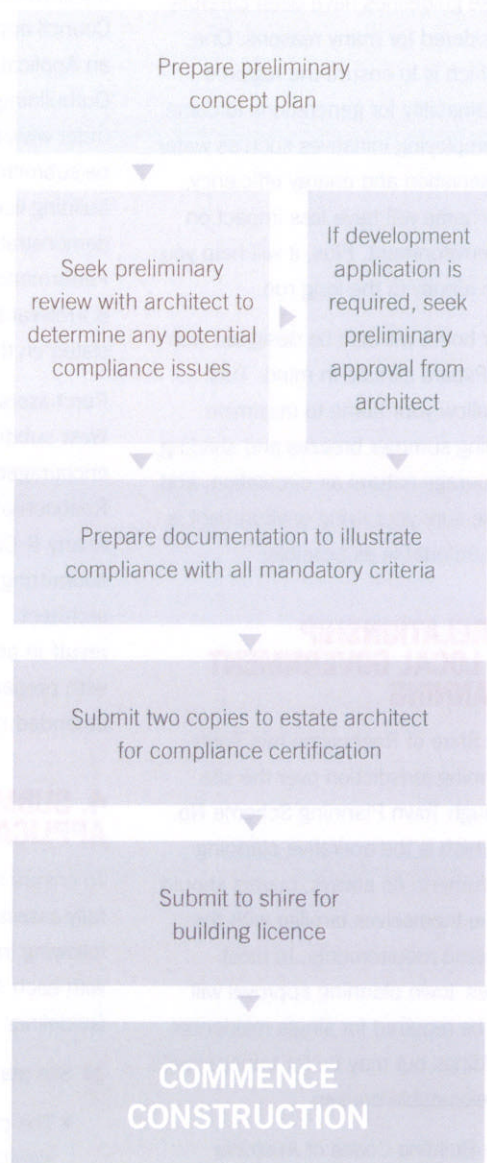


FIGURE 2

6. THE CLIMATE

Baynton West experiences hot summers with occasional cyclonic storms and mild winters with limited rainfall. Cooling breezes in the summer west season generally come from the west and north-west. During the winter dry season, breezes generally come from the east in the morning and north-east in the afternoons. Baynton West is also located north of the Tropic of Capricorn where sunlight is directed from the north in winter and from the south for a portion of the day in the middle of summer.

These unique and often harsh environmental conditions have influenced the Mandatory Criteria so as to result in a house design that responds best to seasonal variations in solar movements, seasonal temperatures and rainfall patterns, particularly in terms of:

- maximising any cooling benefit from the summer breezes;
- encouraging natural air circulation through and around the house;
- maximising shading in summer;
- reducing water usage on the garden; and,
- maximising a comfortable living environment whilst minimising energy use.

THESE UNIQUE AND OFTEN HARSH ENVIRONMENTAL CONDITIONS HAVE INFLUENCED THE MANDATORY CRITERIA SO AS TO RESULT IN A HOUSE DESIGN THAT RESPONDS BEST TO SEASONAL VARIATIONS IN SOLAR MOVEMENTS, SEASONAL TEMPERATURES AND RAINFALL PATTERNS.



Example of good shading with overhangs and eaves
(image courtesy of Rural Building Co) See 7.1.6, 7.1.7

7. THE DESIGN GUIDELINES

The Design Guidelines are structured in a two-tier format, 'Mandatory Criteria' and 'Design Recommendations'. All Mandatory Criteria must be complied with, while the Design Recommendations are non-mandatory but are encouraged as, when implemented, they will improve the overall thermal performance and comfort of your home whilst reducing energy use costs.

Figure 3 below illustrates some of the site considerations, recommendations and criteria you or your builder/ architect should have regard to in preparing or selecting a house design in accordance with the Design Guidelines as is listed in more detail in the following sections.

SUSTAINABLE DESIGN

Some of the criteria includes:

Mandatory:

- 1 Covered outdoor living area (see 7.1.1);
- 2 Orientation to breezes coming from the south-west to north-east (see 7.1.2);
- 3 Minimum 800mm (see 7.1.6);
- 4 Roof pitch between 15 degrees and 42 degrees (see 7.5.2);
- 5 Carport provided with same materials as house (see 7.3.3);

Recommended:

- 6 Shading to east and west windows (see 7.1.10);
- 7 Consider using roof ventilation to all roof space (see 7.1.9);
- 8 Consider using mature landscaping and deciduous trees to shade the house (see 7.1.20);
- 9 Provide shading to west side of outdoor living (see 7.2.8);
- 10 Provide open slat fencing to allow breezes to penetrate through house (see 7.4.4).

This illustration also demonstrates:

- 'L' shaped house helps to 'trap' breezes into house.
- Carport located to provide shade to Western elevation.
- Gable roofs used to help catch higher level breezes.
- Open louvre shading used to gable roof, shading device and awnings to provide good shade and maintain breeze access.
- Ridge ventilation helps to release hot air from roof space and cool down house.
- Open slat fencing used to improve ventilation to the house and yard and increase visual surveillance of the street.
- Deciduous trees provided to north elevation allow summer shade and winter sun. Evergreen trees shown to east and also appropriate to west elevations.
- Shade to outdoor living area from Western sun is highly desirable.
- Timber decks and landscaping adjoining the house helps to reduce heat gain as opposed to concrete and pavers that absorb heat.
- Consider appropriate technology to help with reducing reliance on external resources including rain water tanks, photo voltaic power systems and greywater recycling.
- Photovoltaic's should be on a north facing roof and full sun with no/minimal shade.
- Food production within the yard should be considered. Greywater systems can work well with many fruit tree varieties.

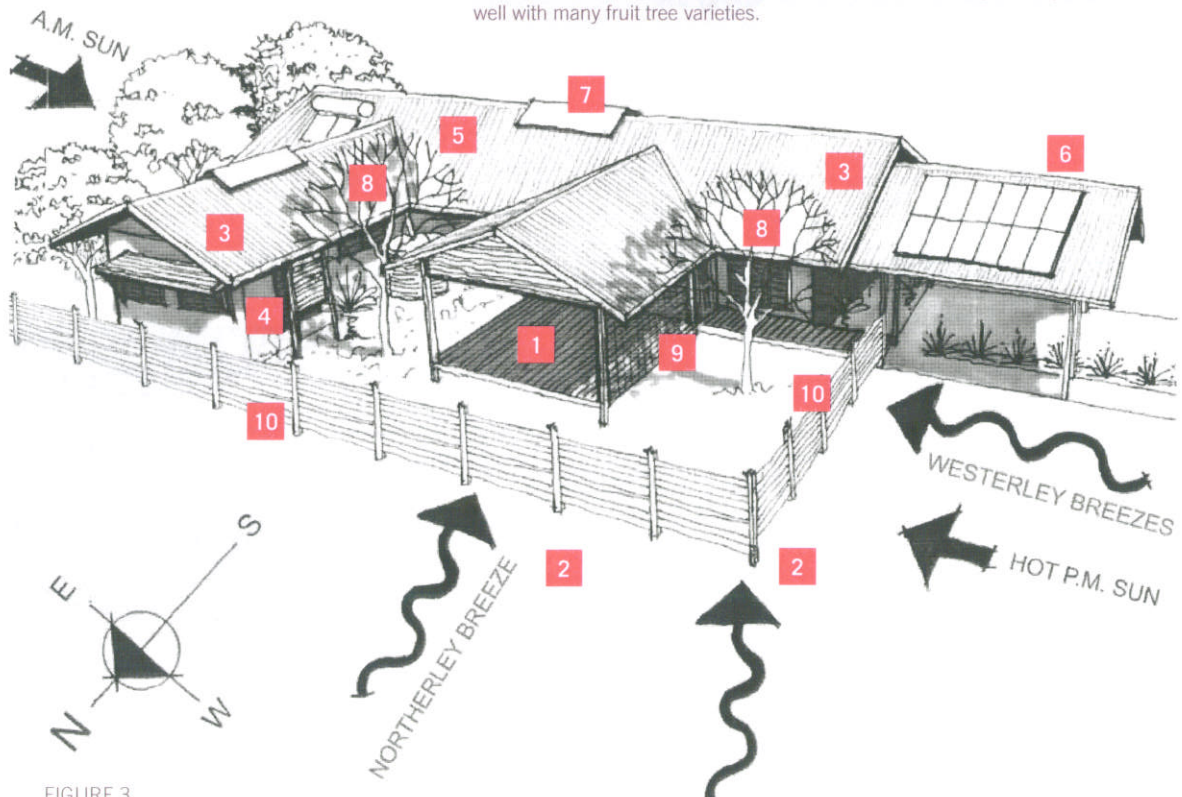


FIGURE 3

7.1 ORIENTATION, VENTILATION AND SHADING

This section outlines climate responsive design and construction principles to minimise energy use by thoughtfully orientating and designing the home.

The objective of these criteria being to encourage protection from the hot sun through shading, particularly of glazed areas and walls, and also to utilise natural ventilation by capturing any cooling breezes. Ultimately this will assist in maximising the enjoyment of the Karratha lifestyle and climate.

MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.1.1 Homes must have a shaded habitable outdoor space adjacent to the main living area with a minimum dimension of 2.6m and a minimum area of 20m ² located in a position to take advantage of access to breezes coming from the south-west to north-east.	
7.1.2 Homes must be orientated to access predominantly westerly, north-westerly or northerly summer breezes	
7.1.3 Homes must provide a minimum of one ceiling fan to all habitable rooms, including outdoor living areas.	
7.1.4 Adequate breeze paths must be provided to all habitable rooms to allow for natural ventilation.	
7.1.5 Open plan living areas must ensure adequate cross-ventilation to each functional area.	
7.1.6 North, west and east facing walls must have a minimum of 800mm eaves to all rooms.	
7.1.7 South facing walls must have a minimum of 800mm eaves to habitable rooms (excludes bathroom, laundry, toilet).	
7.1.8 Where thermal mass such as concrete block, cavity brick and brick veneer to external walls is used, it must be demonstrated that 80% shading is achieved at 12.00 noon on the summer solstice.	
7.1.9 Two external openings to each habitable room are to be provided, where the room has two external walls, to maximise breeze path and ventilation.	
DESIGN RECOMMENDATIONS	
7.1.10 All east and west windows are to be shaded (e.g. exterior blinds, awnings, louvers) or approved alternative suitable to cyclonic conditions; or have a minimum sill height of 1.5m above floor level.	
7.1.11 Provision for outdoor cooking is encouraged.	
7.1.12 Minimise wall surface area and glazing to all east and west facing walls whilst maximising shading.	
7.1.13 Consider location of principal living areas within your home in respect to prevailing westerly, north-westerly and northerly summer breezes.	
7.1.14 Allow for separation from adjoining houses and outbuildings to allow for adequate breeze access between buildings.	
7.1.15 Consider narrower house floor plan designs to assist with breeze path access and cross ventilation.	
7.1.16 Consider internal openable windows, correct positioning of doors or internal louvered walls/ screens to facilitate cross ventilation.	
7.1.17 Consider window types and window location for more effective opening, i.e. reduce glazing area while retaining ventilation opening.	
7.1.18 Locate non-habitable rooms in any breeze blocked areas.	
7.1.19 Roof ventilation to all roof spaces is recommended: e.g. vented gables, 'E' vent or similar appropriate type alternative to suit cyclonic category for Karratha.	
7.1.20 Consider using mature landscaping to shade the house, external paving and outdoor living areas.	
7.1.21 Maximise openings to habitable rooms adjoining or overlooking the public domain, including secondary streets, public open space and drainage reserves to encourage passive surveillance and safer streets.	

7.2 LANDSCAPE MANAGEMENT

This section identifies landscape design elements that reduce maintenance and water consumption with respect given to the Karratha climate, in an attempt to contribute to water conservation.

Implementation of the following also has the added advantage of improving access to cooling breezes as well as encouraging shading of the house and outdoor living areas to assist in the enjoyment of your home without excess reliance on energy use.

MANDATORY CRITERIA	COMPLIANCE CHECKLIST
7.2.1 Front street trees provided as part of LandCorp's landscape rebate package (see section 8 for details) to be planted and maintained in the front building setback area.	
DESIGN RECOMMENDATIONS	
7.2.2 Consider "waterwise" plant species that are best suited to the climate and soil conditions of the West Pilbara (refer to the recommended species list at Appendix 1).	
7.2.3 Consider how to maximise permeable surfaces in order to reduce stormwater runoff.	
7.2.4 If planting lawn, keep it to a minimum and select "waterwise" varieties best suited to the climate and soil conditions of the West Pilbara.	
7.2.5 Consider installation of "waterwise" reticulation such as low flow drippers and coarse drop sprayers.	
7.2.6 Controlled irrigation such as programmable controllers or tap timers with rain sensors for all reticulation systems is encouraged.	
7.2.7 Corner lots are encouraged to provide landscaping to secondary street frontages.	
7.2.8 Consider planting of vegetation to maximise shading to walls, windows and outdoor living areas with a high canopy and clear mid storey to maintain breeze access.	



Rainwater tanks are encouraged to reduce reliance on external resources. See 7.9.3

Example of high quality transportable home. Note breeze wall, high capacity rain water tank and light coloured roofing/cladding material. Please also note that eave width does not comply with eave width requirements. (image, Nordic Homes), See 7.6.2, 7.9.3, & 7.1.6/7.1.7

7.3 SETBACKS, GARAGING AND ACCESS

The table below identifies design criteria and requirements for all homes and associated structures, such as carports, boatports and garages, to assist in the achievement of a high quality of residential design and streetscape. The general objective being to assist in achieving the abovementioned sustainable house designs whilst ensuring that houses and their associated vehicle storage relate well to the surrounding neighbourhood and create safe streets.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.3.1	A double carport or garage shall be provided for each house.	
7.3.2	Garages and carports on R10 or R17.5 coded lots must be set back a minimum of 6 metres from the primary street boundary and be located not forward of the front building line of the house. Open sided carports and boatports may be set back a minimum of 1.5 metres from the primary street, where they are provided so that cars are parked parallel with the street and appropriate landscaping is provided between the front boundary and the structure.	
7.3.3	Where visible from a street, garages, carports and boatports must be constructed of the same or complementary materials, finishes, colours and roof types as the main dwelling.	
7.3.4	No part of a building shall be permitted within 3m of a primary street setback, excluding minor projections such as eaves.	
7.3.5	For R30 coded 'Cottage lots', the location and setback of garages, carports and boat parking shall be provided via the rear-access laneway in accordance with the relevant Detailed Area Plan at Appendix 2.	
DESIGN RECOMMENDATIONS		
7.3.6	Ancillary vehicle parking/storage forward of the front building line is discouraged.	
7.3.7	For all R10 and R17.5 coded lots, the side wall/post of garages and carports should be setback a minimum of 3m from the side boundary or secondary street frontage to provide for ancillary parking/boat storage.	
7.3.8	Walls built to the side boundary are discouraged as it reduces breeze circulation.	
7.3.9	In locating driveway access and crossovers in accordance with Council specifications, consideration is to be given to existing street signs, lighting and traffic control devices to avoid conflict in location.	

7.4 FENCING

This section aims to achieve a fencing approach which assists with the achievement of a high quality of residential design and streetscape to protect your investment and the estate. In doing so, it is also the intention to maximise surveillance of parks, footpaths, schools and drains to reduce the opportunity for crime and to avoid restricting air flow to the home and outdoor living areas.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.4.1	Fencing must be designed and constructed in accordance with the Shire of Roebourne 'Residential Frontage' policy with the exception that any fencing forward of the front building setback is to be visually permeable above a height of 1.2m.	
7.4.2	Fencing abutting the secondary street or drainage reserve as provided by LandCorp is not to be modified without approval.	
7.4.3	All dividing fences are to be constructed to LandCorp's specification.	
DESIGN RECOMMENDATIONS		
7.4.4	Fencing of a permeable/open design is encouraged to facilitate airflow.	
7.4.5	Fencing forward of the front building line is discouraged.	

7.5 BUILDING AND ROOF FORM

The following identifies some specific issues for the design of homes to assist in achieving a diversity of climate responsive and high quality residences and streetscapes in an attempt to protect your investment, achieve sustainable design and improve the amenity of Karratha.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.5.1	Ceilings to all habitable rooms are to be a minimum of 2.7m high. Pitching plates may be reduced to 2.5m above floor level but the ceiling must achieve a minimum 2.7m ceiling height within 750mm of the external wall.	
7.5.2	Conventional gable or hipped roof forms must not be less than 15 degrees pitch or greater than 42 degrees pitch to main roof structures. For other roof types, a minimum pitch of 8 degrees applies.	
7.5.3	Transportable, recycled and kit homes shall exhibit a level of detail and standard of finishes to minimise the differentiation between them and site built homes and to maintain the quality of the estate.	
DESIGN RECOMMENDATIONS		
7.5.4	Any skillion roofs are required to provide greater insulation standards and additional ventilation to compensate for reduced energy efficiency.	
7.5.5	Clearly expressed front entries should be provided.	
7.5.6	Varied external materials, colours and textures are encouraged to maintain variety and interest in the streetscape.	
7.5.7	Verandahs, articulation and use of projections are encouraged to create variety and interest in the built form and assist with shading.	

7.6 COLOURS AND MATERIALS

This section identifies colours and materials to help limit high energy consumption in the home by reducing heat gain through appropriate building materials.

When implemented correctly, ongoing energy costs will be reduced and the comfort of occupants of the home will be improved.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.6.1	Bright or dark heat absorbing roof sheeting colours with a solar absorbency rating greater than 0.55, as classified by the BCA, are prohibited (refer to www.colorbond.com for list of suggested colour range).	
DESIGN RECOMMENDATIONS		
7.6.2	Very Light coloured roofing materials with a solar absorbency of less than 0.35, as classified in the BCA, is encouraged (refer to www.colorbond.com for list of suggested colour range).	
7.6.3	Tinted glazing to external doors and windows is encouraged.	
7.6.4	An alternative to glazing to lower parts of full height windows is encouraged, while maintaining ventilation openings.	
7.6.5	Structural timbers are encouraged to be Certified Plantation Timbers only.	
7.6.6	The use of low emission surface coatings is encouraged.	
7.6.7	The use of prefabricated components is encouraged.	
7.6.8	Recycled construction materials are encouraged where appropriate.	
7.6.9	Use of cavity brick and standard brick veneer to external walls is discouraged. Instead, well designed reverse veneer can be considered.	

7.7 THERMAL EFFICIENCY

This section identifies strategies complementary to the other mandatory criteria to help limit high energy consumption in the home by reducing heat gain through the use of appropriate insulation and sisalation, ultimately assisting in reducing energy costs and improving the comfort of occupants of the home.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.7.1	Use a combination of roof and ceiling insulation to provide a minimum thermal resistance of R4.2 for heat flow in a downward direction.	
7.7.2	Provide a minimum thermal resistance of 2.3 to all external walls.	
DESIGN RECOMMENDATIONS		
7.7.3	Double-sided foil sisalation or similar insulation product to roofs and external walls is recommended.	
7.7.4	Insulation with noise attenuation properties is encouraged for roofing and walls abutting external air-conditioning units.	

7.8 ENERGY USE

This section identifies strategies, in addition to the implementation of the shading, orientation and thermal efficiency recommendations above, to help limit high energy consumption in the home by requiring or recommending more appropriate appliances and air-conditioners. When implemented correctly, ongoing energy costs will be reduced.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.8.1	All homes must incorporate energy efficiency and hot water use efficiency measures of the BCA Five Star Plus Water Use in Houses Code.	
7.8.2	Where air conditioning is installed inverter split systems or high efficiency ducted systems are mandatory.	
7.8.3	Sound levels of external air conditioning units measured at each unit must be a maximum of 55dBA in accordance with manufacturers' specifications.	
DESIGN RECOMMENDATIONS		
7.8.4	High energy efficient lighting and appliances with timer controls as relevant are recommended.	
7.8.5	Consider the installation of photovoltaic or renewable energy systems.	
7.8.6	Hot water systems should be positioned as close as possible to the area of most use.	

7.9 WATER MANAGEMENT

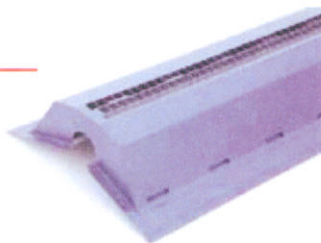
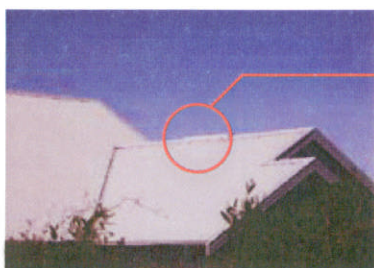
The objective of the following water conservation strategies relating to the home and garden is to assist in reducing water use and water costs for the occupants.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.9.1	All homes must incorporate water efficiency, water loss prevention and hot water use efficiency measures of the BCA Five Star Plus Water Use in Houses Code.	
DESIGN RECOMMENDATIONS		
7.9.2	The installation of WA Health Department approved greywater treatment/reuse is encouraged.	
7.9.3	The installation of water tank(s) is encouraged, with roof structures to have gutters to channel water to the water tank.	
7.9.4	The installation of water efficient appliances is encouraged.	

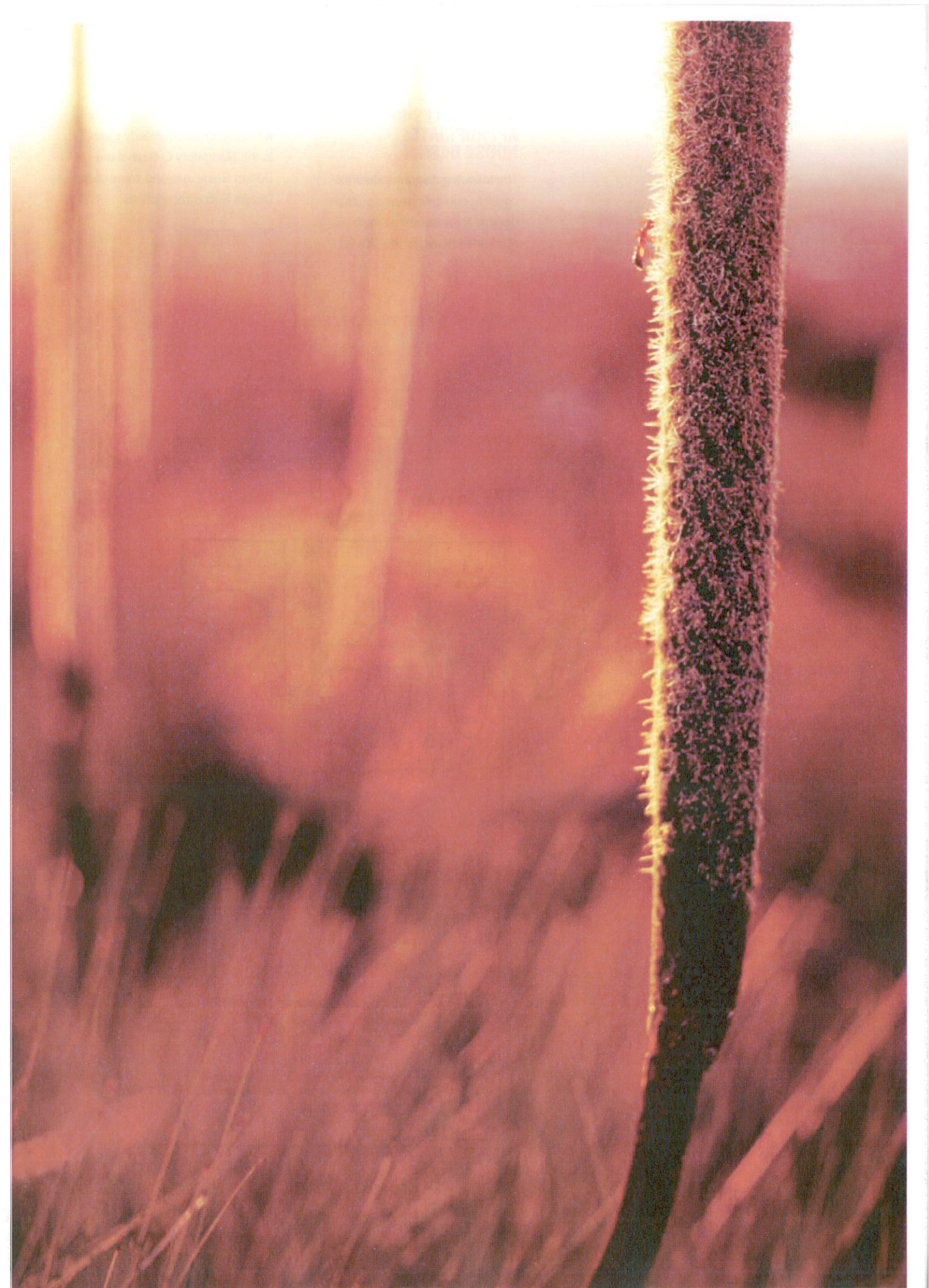
7.10 STORAGE AND SERVICING

The following identifies a design approach to the provision of storerooms, outbuildings and servicing considerations to assist in achieving a high quality of residential design and streetscape so as not to undermine the enjoyment of the home or reduce the quality of the estate.

MANDATORY CRITERIA		COMPLIANCE CHECKLIST
7.10.1	Bin storage and clothes drying areas must be fully screened from public view.	
7.10.2	Freestanding sheds and storerooms must be constructed of the same or complementary materials, finishes, colours and roof types as the main house.	
DESIGN RECOMMENDATIONS		
7.10.3	Bin storage areas should be located to minimise the impact on adjoining residences.	
7.10.4	Consider locating any air-conditioning units, solar collectors, satellite dishes or other plant or equipment to minimise visual and acoustic impact on adjoining residences and the streetscape.	
7.10.5	Storerooms under the main roof of homes are encouraged.	
7.10.6	Consider locating storerooms or sheds to minimise their visual impact on adjoining residences and the streetscape and so they do not adversely restrict summer breezes.	



Example of roof ventilated by an E-Vent.
Also note, light coloured roofing material. (image, Combined Metal Industries) See 7.1.19 & 7.6.2



8. EXAMPLES OF APPROPRIATE HOUSE DESIGN

The following diagrams illustrate possible orientations and suitable designs for a standard single residential house or the smaller

laneway accessed cottage house with consideration already given to the Mandatory Criteria of the Design Guidelines and some of the Design Recommendations.

8.1 NORTH FACING STANDARD HOME

LEGEND

1. Boat bay ideally located to northern side to open up access to primary egress
2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
3. Try and shape the house form to 'trap' breeze into openings
4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
5. Locate deck to create maximum shading benefit
6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
7. Locate non-habitable rooms to breeze blocked areas
8. Provide as much cross ventilation to rooms as possible.
9. Minimise obstructions/corners to breeze path as much as possible
10. Locate sheds and non-habitable structures away from breeze path.

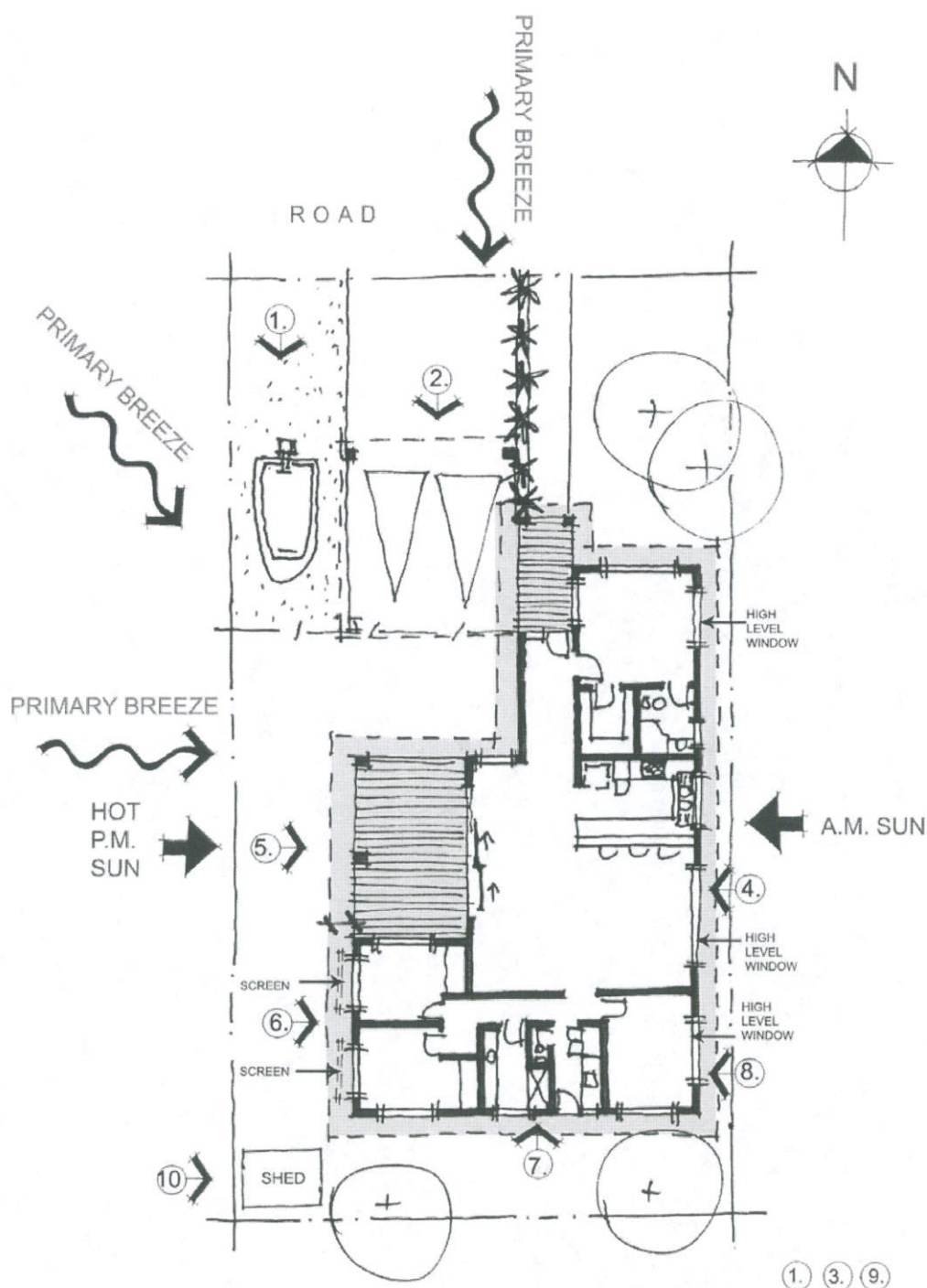


FIGURE 4

8.2 SOUTH FACING STANDARD HOME

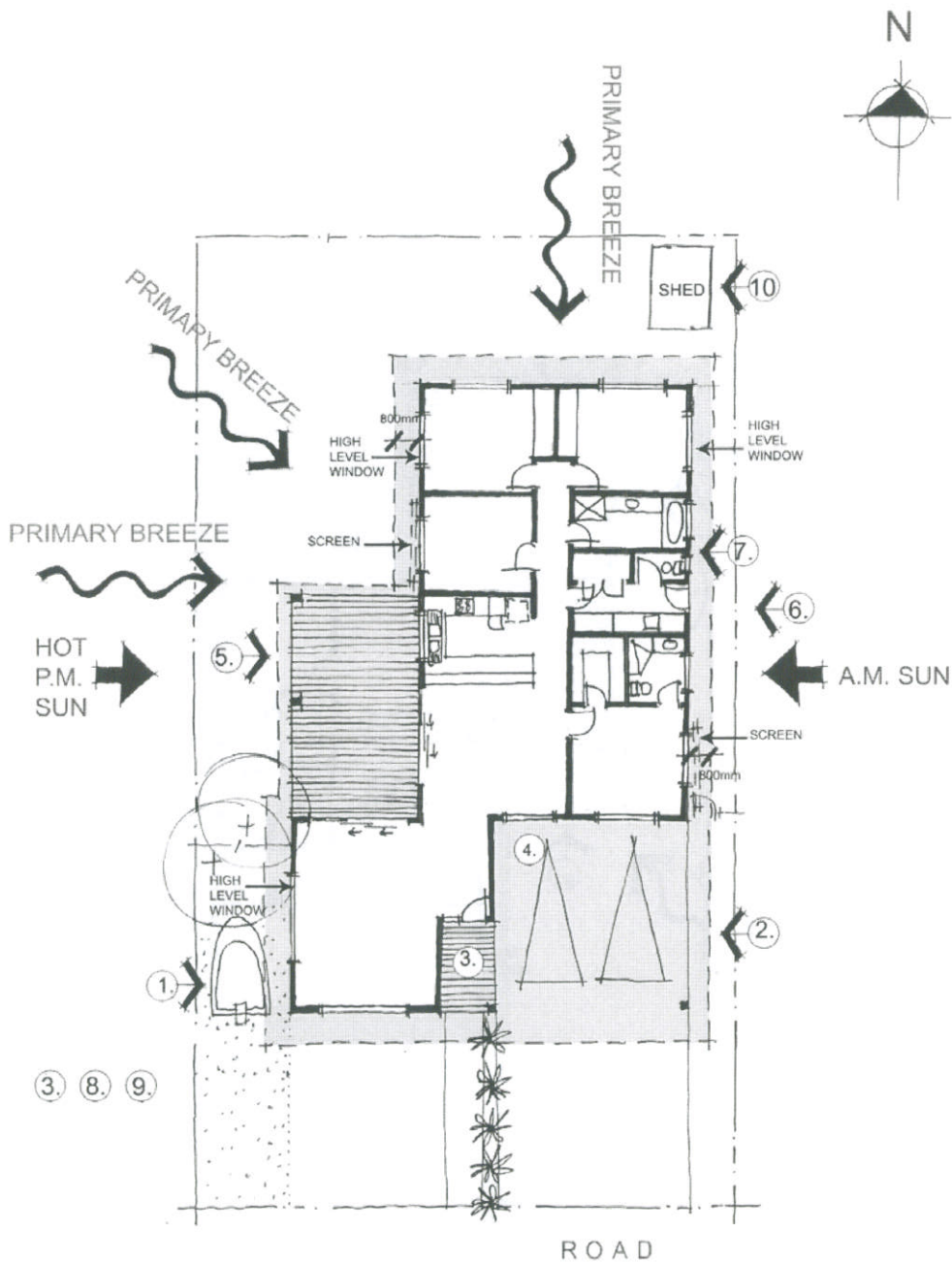


FIGURE 5

LEGEND

1. Boat bay ideally located to northern side to open up access to primary egress
2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
3. Try and shape the house form to 'trap' breeze into openings
4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
5. Locate deck to create maximum shading benefit
6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
7. Locate non-habitable rooms to breeze blocked areas
8. Provide as much cross ventilation to rooms as possible.
9. Minimise obstructions/corners to breeze path as much as possible
10. Locate sheds and non-habitable structures away from breeze path.

8.3 EAST FACING STANDARD HOME

- LEGEND**
1. Boat bay ideally located to northern side to open up access to primary egress
 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
 3. Try and shape the house form to 'trap' breeze into openings
 4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
 5. Locate deck to create maximum shading benefit
 6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
 7. Locate non-habitable rooms to breeze blocked areas
 8. Provide as much cross ventilation to rooms as possible.
 9. Minimise obstructions/corners to breeze path as much as possible
 10. Locate sheds and non-habitable structures away from breeze path.

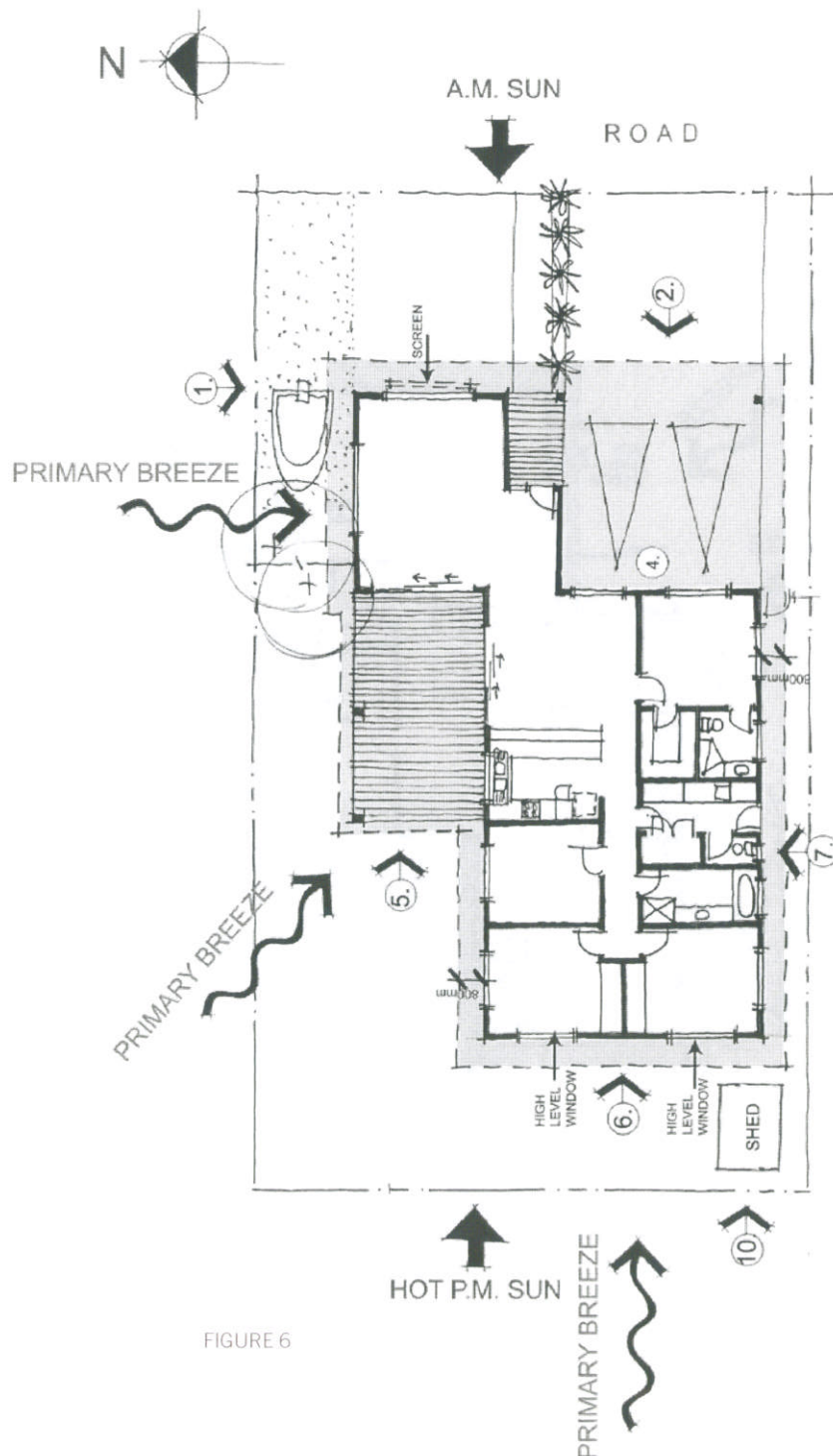


FIGURE 6

8.4 WEST FACING STANDARD HOME

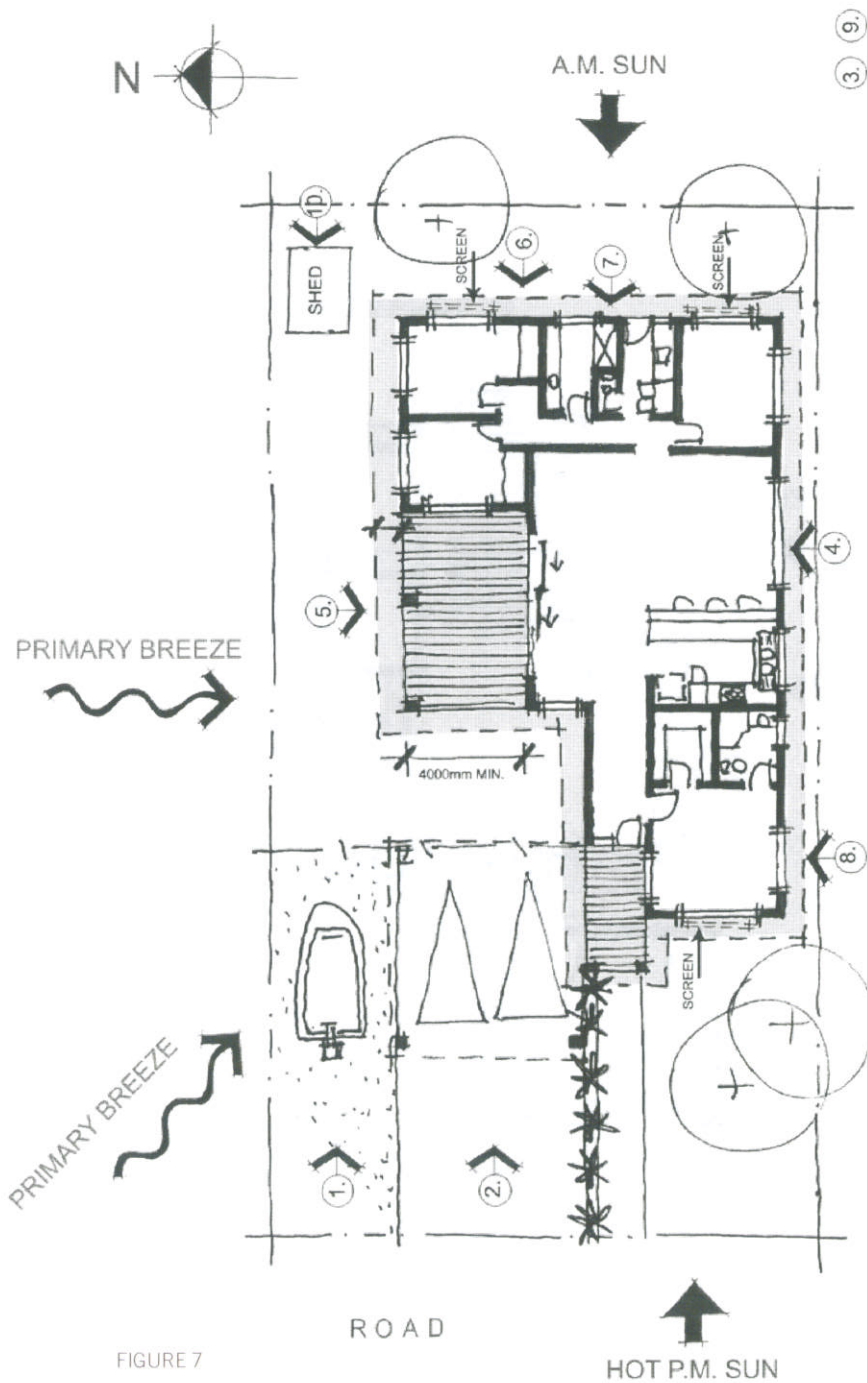


FIGURE 7

LEGEND

1. Boat bay ideally located to northern side to open up access to primary egress
2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
3. Try and shape the house form to 'trap' breeze into openings
4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
5. Locate deck to create maximum shading benefit
6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
7. Locate non-habitable rooms to breeze blocked areas
8. Provide as much cross ventilation to rooms as possible.
9. Minimise obstructions/corners to breeze path as much as possible
10. Locate sheds and non-habitable structures away from breeze path.

8.5 NORTH FACING REAR ACCESS COTTAGE HOME

- LEGEND**
1. Boat bay ideally located to northern side to open up access to primary egress
 2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
 3. Try and shape the house form to 'trap' breeze into openings
 4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
 5. Locate deck to create maximum shading benefit
 6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
 7. Locate non-habitable rooms to breeze blocked areas
 8. Provide as much cross ventilation to rooms as possible.
 9. Minimise obstructions/corners to breeze path as much as possible
 10. Locate sheds and non-habitable structures away from breeze path.

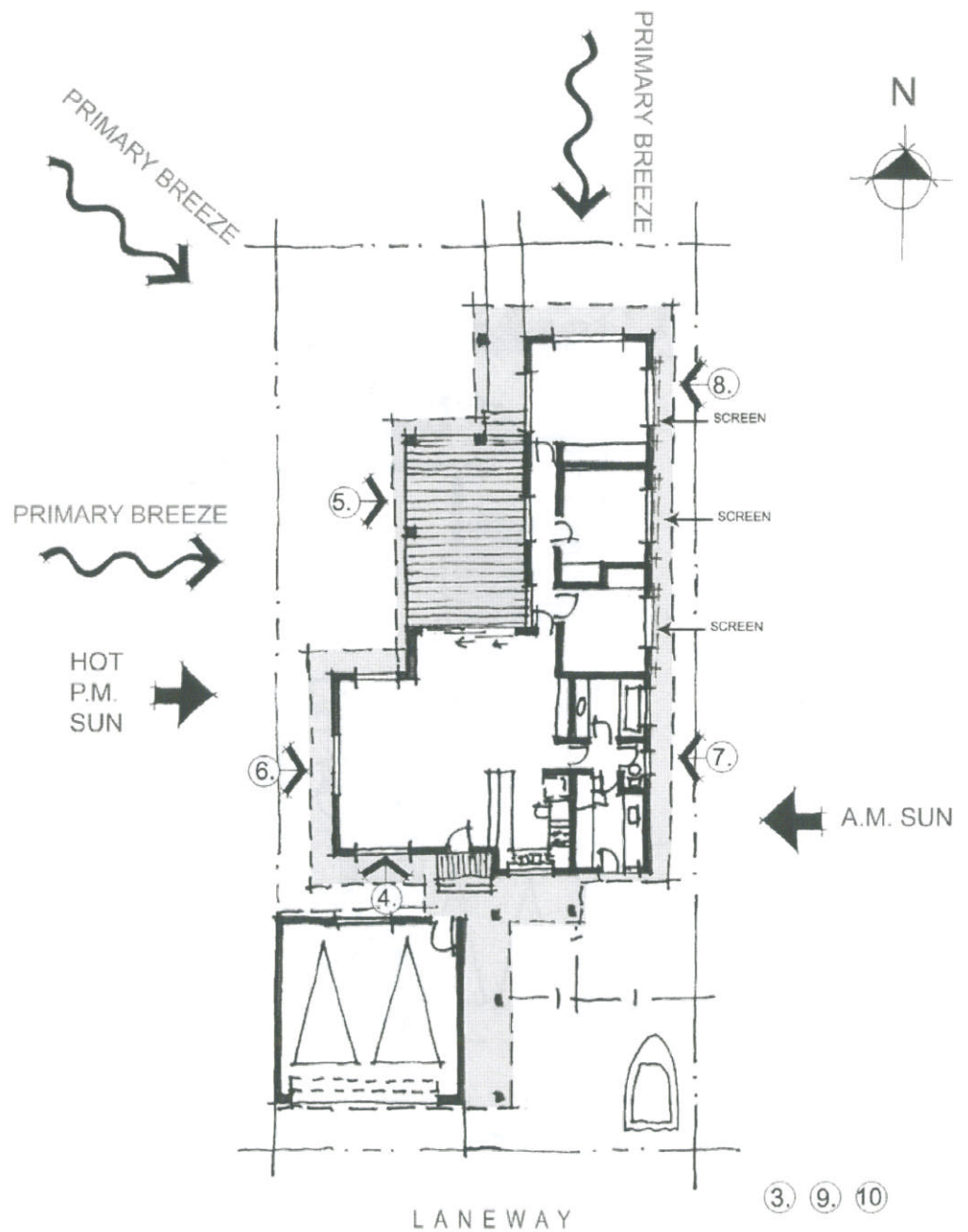
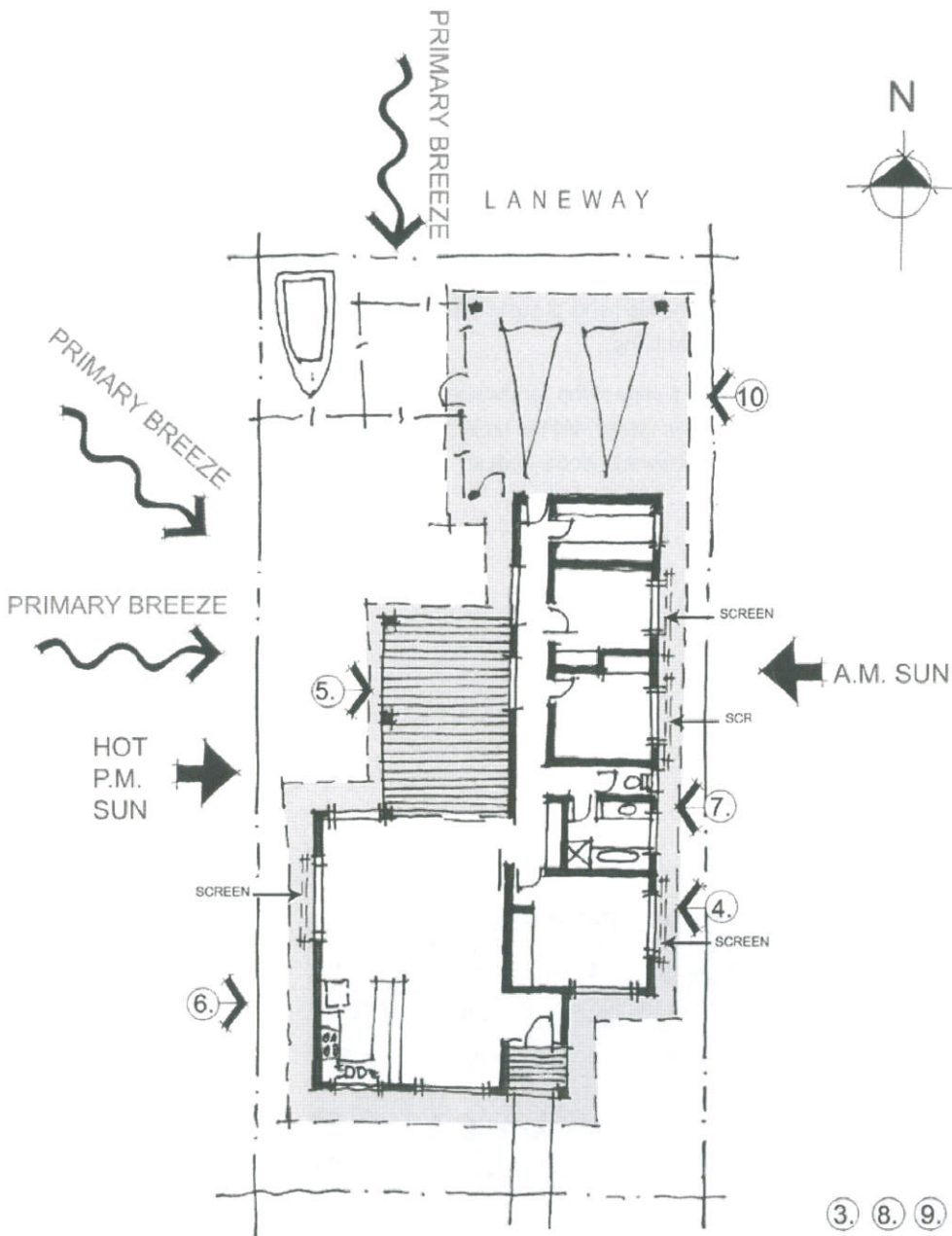


FIGURE 8

8.6 SOUTH FACING REAR ACCESS COTTAGE HOME



LEGEND

1. Boat bay ideally located to northern side to open up access to primary egress
2. Provide open carport in lieu of garage to maintain access to breezes. Locate carport to benefit from shading value
3. Try and shape the house form to 'trap' breeze into openings
4. Ensure to provide large outlet openings to encourage breeze to travel through house and not over or around house
5. Locate deck to create maximum shading benefit
6. Minimise exposure of windows to east and west elevations. Provide screens to east and west windows or increase sill height where appropriate
7. Locate non-habitable rooms to breeze blocked areas
8. Provide as much cross ventilation to rooms as possible.
9. Minimise obstructions/corners to breeze path as much as possible
10. Locate sheds and non-habitable structures away from breeze path.

FIGURE 9

THE 'DESIGN RECOMMENDATIONS' SPECIFY DESIGN AND CONSTRUCTION RECOMMENDATIONS TO CREATE A MORE SUSTAINABLE HOUSING DESIGN AND AID IN ACHIEVING THE OBJECTIVES OF THE DESIGN GUIDELINES



9. FURTHER INFORMATION AND REBATES

LandCorp is currently offering a Landscape Rebate upon completion of your front landscaping, or front and side landscaping for corner lots. In addition, some existing grants and rebates are available through the State and Federal Government to assist with the implementation of some of the elements of sustainable design and living.

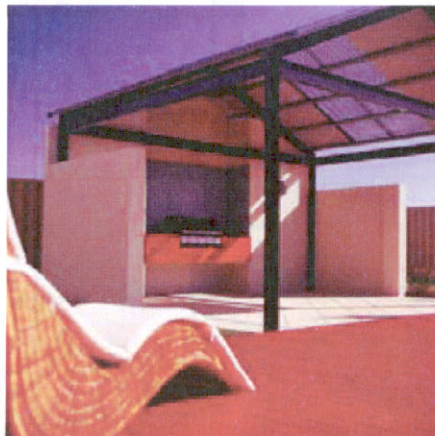
To obtain a copy of the Landscape rebate form please visit the project's website at www.landcorp.com.au

It is recommended that you review both the www.water.wa.gov.au and www.sedo.energy.wa.gov.au websites for further government rebate information.

In addition, further information regarding environmentally sustainable house design and construction - Your Home Design Guide and the Technical Manual - is available at: www.greenhouse.gov.au/yourhome



Deep verandahs are encouraged to provide shading and extra useable outdoor living (image, Nordic Homes)



Outdoor cooking is a great way to keep cooking heat out of the house. See 7.1.11. (image Rural Building Co.)

10. RECOMMENDED PLANT SPECIES LIST

The Water Corporation has a brochure called “Water wise ways” – “Garden tips for the West Pilbara”. This brochure contains a range of plant species suited to the Karratha environment which are recommended for inclusion in any landscaping of lots within Baynton West. Refer to 13 10 39 or www.watercorporation.com.au to obtain a copy of the brochure.

In addition, LandCorp has included a recommended plant species list as part of their Landscape Rebate at Appendix 1 suitable for your garden landscaping and recouping the Rebate.



Example of generously sized covered **outdoor living area** directly accessed from indoor living spaces.
Note timber floor finish, timber absorbs less heat than paving, keeping area cooler. See 7.1.1. (Image Rural Building Co.)

APPENDIX 1 - RECOMMENDED PLANT SPECIES LIST

A combination of any or all of the following plant species are recommended for use in the landscaping of grouped housing sites. These plants are generally readily available from local suppliers, and have been selected because they suit the local conditions.

TREES

Acacia coricea - Desert Oak
Allocasuarina equisetifolia – Coastal Sheoak
Callistemon 'King's Park Special' - King's Park Special
Callistemon viminalis – Weeping Bottlebrush
Cassia fistula – Golden Shower Tree
Corymbia ficifolia 'Summer Red' – Summer Red
Delonix regia - Royal Poinciana
Eucalyptus platypus 'Heterophylla' – Coastal Moort
Eucalyptus vitrix – Coolibah
Ficus hillii – Hills Fig
Melaleuca leucadendron - Cadjeput
Peltophorum pterocarpum – Yellow Flame Tree
Plumeria obtusa - Singapore Frangipani
Plumeria rubra 'Pink' – Pink Flowering Frangipani
Plumeria tricolor - Tricolor Frangipani
Terminalia catappa – Indian Almond
Tipuana tipu – Rosewood Tree

PALM TREES

Phoenix roebelinii - Pygmy Date Palm
Ravenala madagascariensis - Travellers Palm
Wodyetia bifurcata - Foxtail Palm

SHRUBS

Acalypha inferno 'Firestorm' – Firestorm
Adenanthos sericea – Albany Woolly Bush
Agonis flexuosa 'Nana' – Dwarf Peppermint
Alternanthera dentata – Joy Weed
Alternanthera 'Red Threads' - Joseph's Coat
Croton 'Sunny Star' - Sunny Star
Cycas revoluta – Cycad
Cyperus involucratus – Umbrella Sedge
Dianella revoluta - Spreading Flax Lily
Dianella revoluta 'Cassa Blue' – Cassa Blue
Dianella 'Silver Streak' – Silver Streak
Duranta erecta 'Geisha Girl' - Sapphire Showers
Duranta repens 'Sheena's Gold' - Sheena's Gold
Eremophila maculata – Emu Bush
Grevillea 'Robyn Gordon' - Robyn Gordon Grevillea
Hibiscus tiliaceus - Beach Hibiscus

APPENDIX 1 - RECOMMENDED PLANT SPECIES LIST

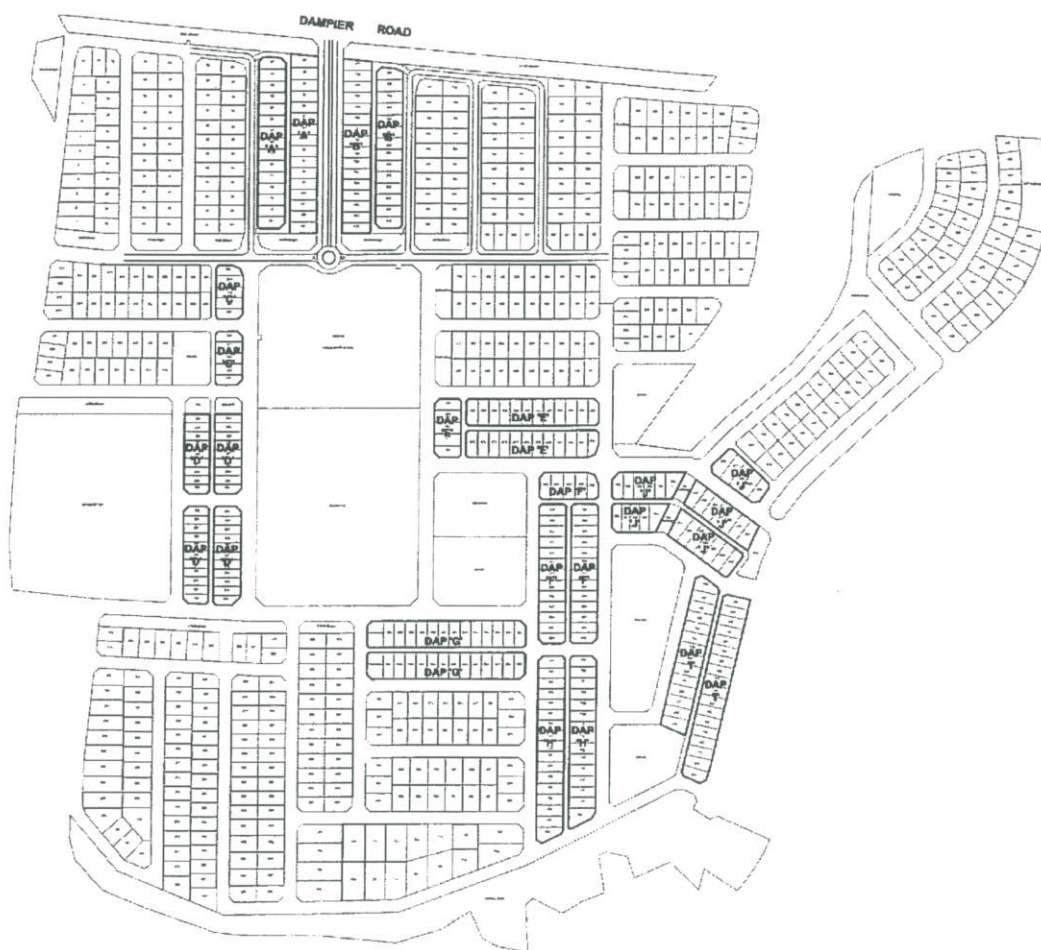
Ixora chinensis - Jungle Flame
Ixora coccinea - Flame of the Woods
Ixora 'Malay Pink' – Malay Pink
Ixora 'Prince of Orange' - Prince of Orange
Leucophyta brownii – Cushion Bush
Melaleuca nesophila 'Little Nussy' – Little Nussy
Murraya paniculata - Orange Jessamine
Pimelea rosea – Rose Banjine
Punica gratatum 'Nana' – Dwarf Pomegranite
Rhoeo spathacea - Oyster Plant/Moses-in-a-Cradle
Strelitzia reginae - Bird of Paradise
Strelitzia Nicolai – Giant Bird of Paradise
Swainsona formosa – Sturt Pea
Westringia fruticosa - Coastal Rosemary

GROUNDCOVERS & CLIMBERS

Ajuga metallica crispa – Carpet Bugle
Allamandra cathartica – Golden Trumpet
Bougainvillea bambino – Dwarf Bambino
Bougainvillea glabra - Bougainvillea/Paper Flower
Callistemon 'Little John' – Little John
Clematis delicata – Native Clematis
Cymbopogon citratus – Lemongrass
Eremophila glabra 'Kalbarri Carpet' – Kalbarri Carpet
Grevillea 'GinGin Gem' prostrate – GinGin Gem
Grevillea thelemmanniana 'Seaspray' - Seaspray
Liliirope muscari – Lilyturf
Lomandra 'Little Con' – Little Con
Lomandra 'Tropicbelle' – Tropicbelle
Myoporum parvifolium – Boobialla
Passiflora coccinea – Red Flowering Passionfruit
Ptilotus rotundifolius – Royal Mulla Mulla
Russelia equisetiformis – Firecracker Plant
Scaevola nitida 'prostrate' – Fan Flower
Trachelospermum jasminoides – Star Jasmine

APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST - KARRATHA DETAILED AREA PLAN LOCATIONS



LEGEND:
DAP locations

LCP BAY-08-11 : DWG No
LANDCORP : CLIENT
1:5000 @ A3 : SCALE
22.01.2009 : DATE



BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE

APPENDIX 2 - DRAFT DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPSS) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPSS and/or the R-Codes, shall apply unless otherwise varied below.

DESIGN ELEMENTS

- The density coding for lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side eave/leaves setback applies to all buildings on each lot excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metre and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 1.5 metres from the rear boundary applies to all dwellings (excluding garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.0m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a store room is fully integrated with the dwelling, garage or carport, the store room may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

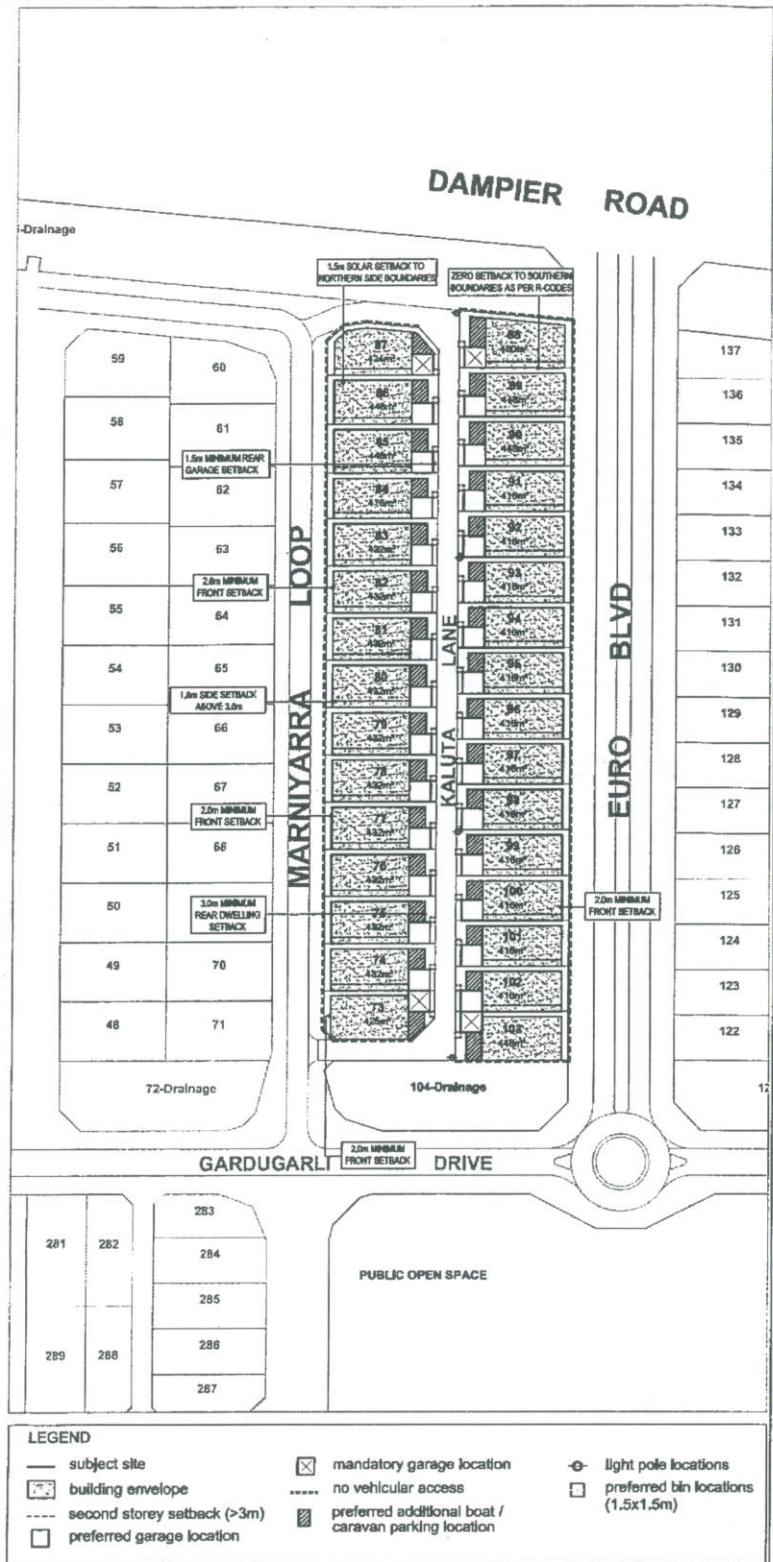
COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSED BY

Executive Manager Development Services
Shire of Roebourne

[Signature]
Date: 25/05/2009



detailed area plan 'A'

LOTS: 88-103 EURO BOULEVARD
73 - 87 MARNIYARRA LOOP
BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE



SCALE 1:1000 @ A3
DATE: 20.05.2009
LCP BAY SU 08-01D



APPENDIX 2 - DRAFT DETAILED AREA PLANS

**BAYNTON WEST COTTAGE LOTS
DETAILED AREA PLAN (DAP)**

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and/or the R-Codes, shall apply unless otherwise varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum slight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side solar/breeze setback applies to all buildings on each lot excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metre and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum slight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a store room is fully integrated with the dwelling, garage or carport, the store room may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

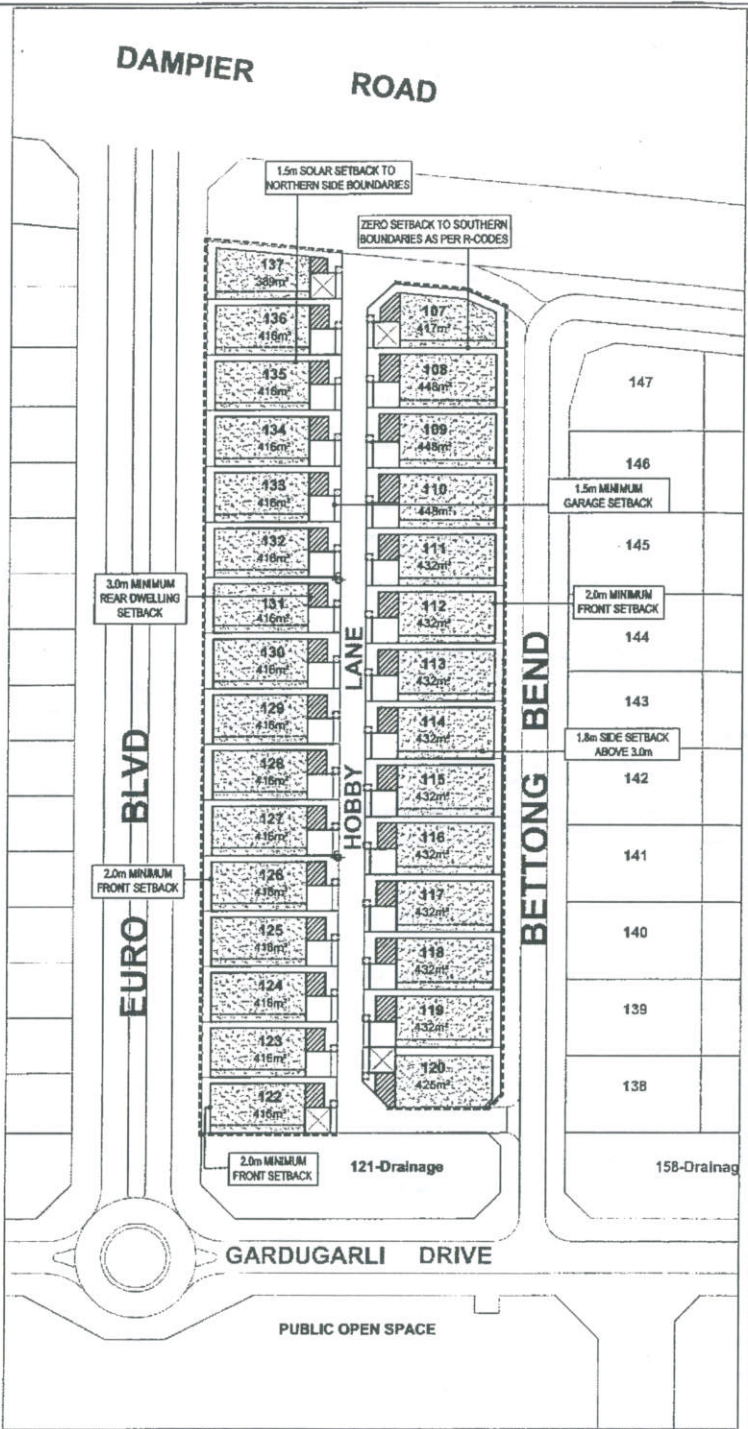
AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSED BY: *[Signature]* 25/05/09
Executive Manager Development Services
Shire of Roebourne



LEGEND

— subject site	⊗ mandatory garage location	⊙ light pole locations
▭ building envelope	- - - - - no vehicular access	◻ preferred bin locations (1.5x1.5m)
- - - - - second storey setback (>3m)	▨ preferred additional boat / caravan parking location	
◻ preferred garage location		

detailed area plan 'B'

LOTS 107-120 BETTONG BEND
122-137 EURO BOULEVARD
BAYNTON WEST - KARRATHA
SHIRE OF ROEOURNE



SCALE: 1:1000 @ A3
DATE: 20.05.2009
LCP BAY SU 08-020



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and/or the R-Codes, shall apply unless otherwise varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side solar/breeze setback applies to all buildings on each lot excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metre and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

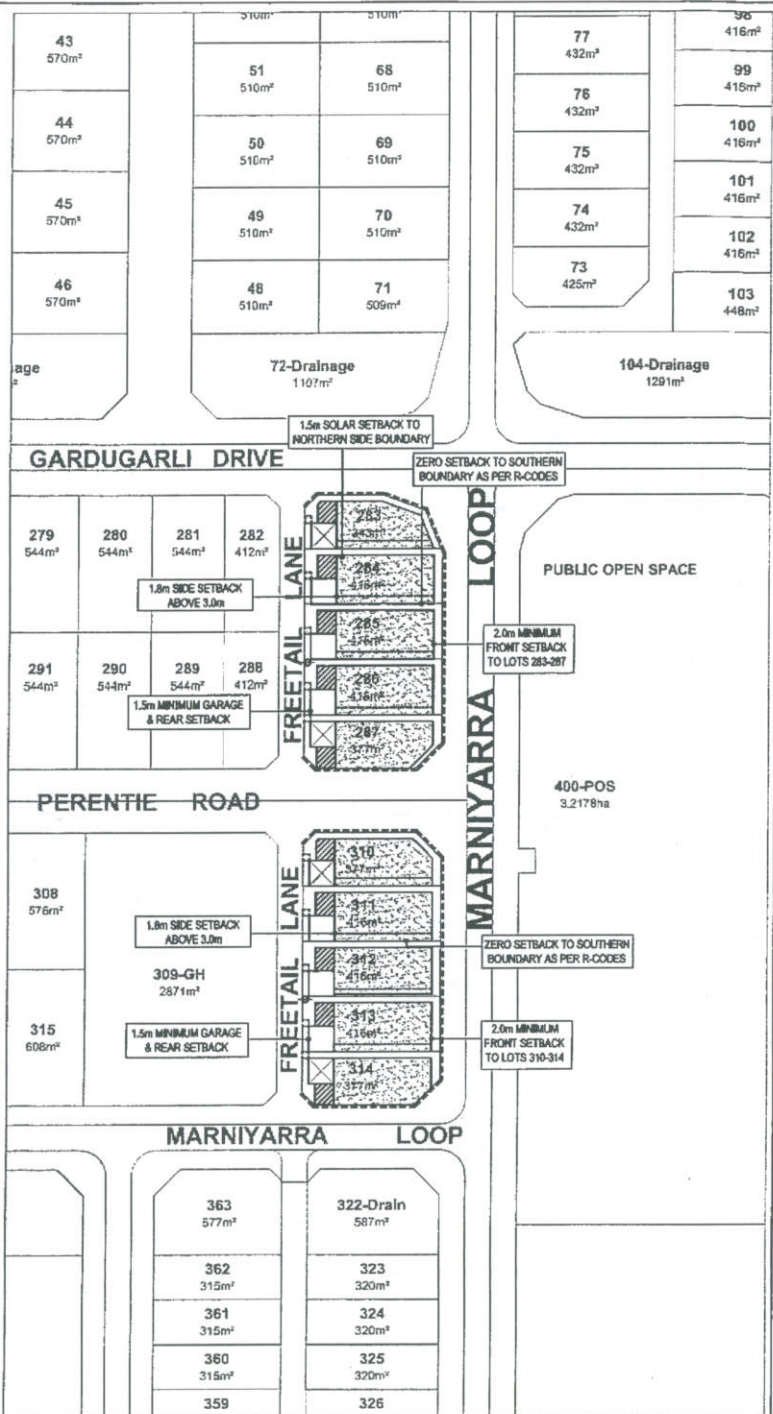
- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a storeroom is fully integrated with the dwelling, garage or carport, the storeroom may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repeated without the express written consent of the Shire of Roebourne.



ENDORSED BY

 Executive Manager Development Services
 Shire of Roebourne
 25/05/09
 Date

LEGEND

- subject site
- building envelope
- second storey setback (>3m)
- preferred garage location
- mandatory garage location
- no vehicular access
- preferred additional boat / caravan parking location
- light pole locations
- preferred bin locations (1.5x1.5m)

detailed area plan 'C'

LOTS: 283 - 287; 310 - 314 MARNIYARRA LOOP
 BAYNTON WEST - KARRATHA
 SHIRE OF ROEOURNE



SCALE 1:1000 @ A3
 DATE: 20.05.2009
 LCP BAY SU 06-03a



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and/or the R-Codes, shall apply unless otherwise varied below.

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- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

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- A 1.5 metre side solar/breeze setback applies to all buildings on each lot excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metre and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excluding garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 600mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

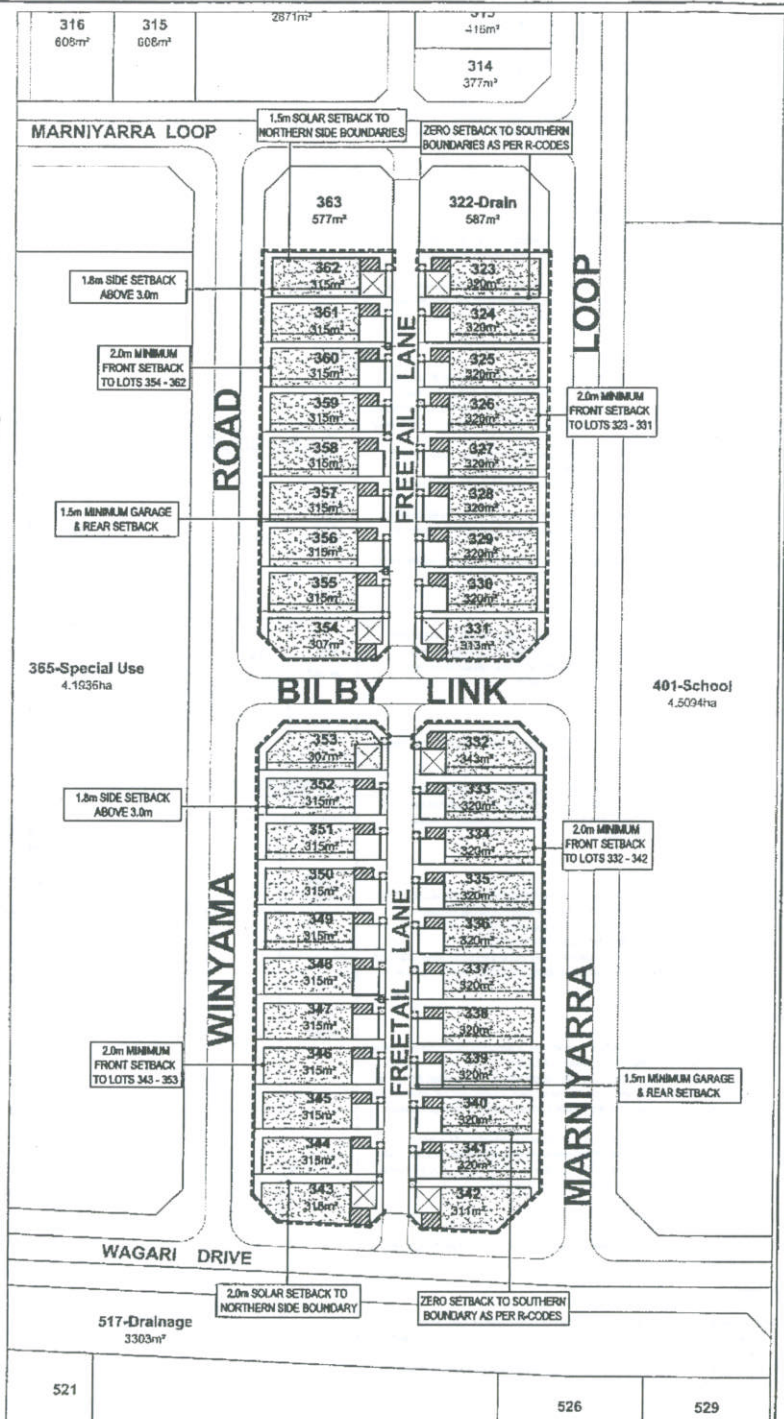
- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a storeroom is fully integrated with the dwelling, garage or carport, the storeroom may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.0m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.



ENDORSED BY

 Executive Manager Development Services
 Shire of Roebourne
 Date: 25/05/09

LEGEND					
	subject site		mandatory garage location		light pole locations
	building envelope		no vehicular access		preferred bin locations (1.5x1.5m)
	second storey setback (>3m)		preferred additional boat / caravan parking location		
	preferred garage location				

detailed area plan 'D'

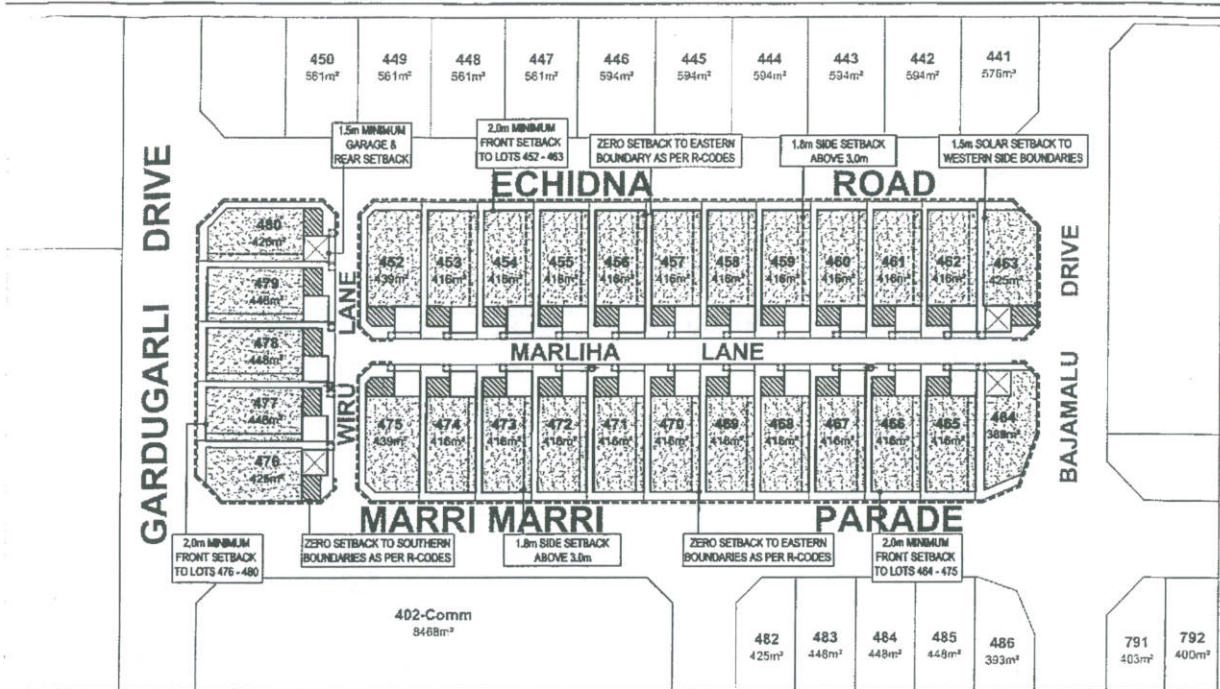
LOTS: 323-342 MARNIYARRA LOOP
 342-362 WINYAMA ROAD
 BAYNTON WEST - KARRATHA
 SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3
 DATE: 20.05.2009
 LCP BAY SU 06-047



APPENDIX 2 - DETAILED AREA PLANS



BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and/or the R-Codes, shall apply unless otherwise varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum slight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side solar/breeze setback applies to all buildings on each lot excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum slight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

LEGEND

- subject site
- ⊠ building envelope
- - - second storey setback (>3m)
- preferred garage location
- ⊗ mandatory garage location
- no vehicular access
- ▨ preferred additional boat / caravan parking location
- ⊙ light pole locations
- ⊠ preferred bin locations (1.5x1.5m)

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncation;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncation;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a storeroom is fully integrated with the dwelling, garage or carport, the storeroom may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSED BY:

[Signature] 25/05/09
Executive Manager Development Services
Shire of Roebourne

Date

detailed area plan 'E'

LOTS: 452 - 463 ECHIDNA ROAD
464 - 475 MARRI MARRI PARADE
476 - 480 GARDUGARLI DRIVE
BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3
DATE: 20.05.2009.
LCP BAY SU 06-06a



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and/or the R-Codes, shall apply unless otherwise varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum sight truncation of 1.5 metres above a height not greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side eave/breeze setback applies to all buildings on each lot excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum sight truncation of 1.5 metres above a height not greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a store room is fully integrated with the dwelling, garage or carport, the store room may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

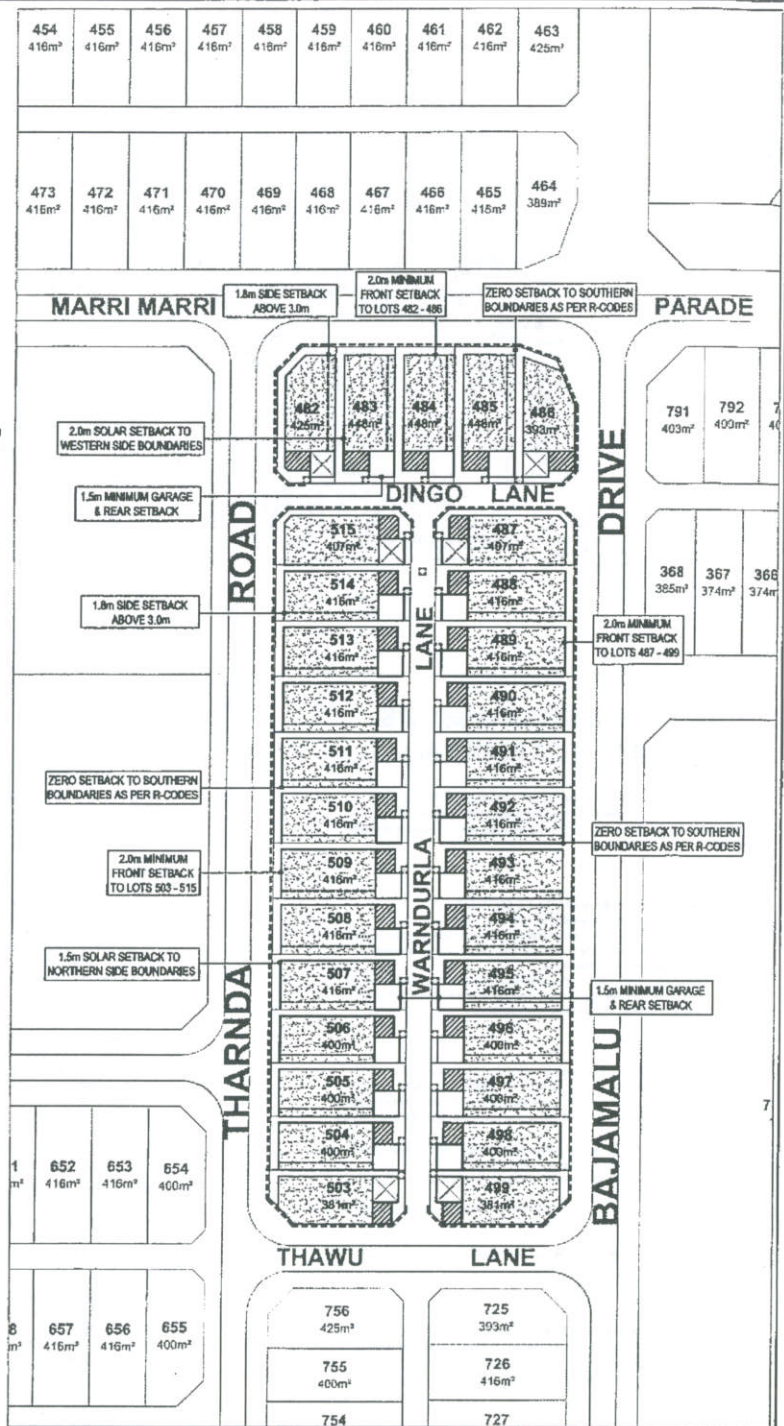
COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSED BY

[Signature]
Executive Manager Development Services
Shire of Roebourne

25/05/09
Date



LEGEND

- subject site
- ⊗ mandatory garage location
- ⊕ light pole locations
- ⊠ building envelope
- ⋯ no vehicular access
- ⊡ preferred bin locations (1.5x1.5m)
- - - second storey setback (>3m)
- ▨ preferred additional boat / caravan parking location
- preferred garage location

detailed area plan 'F'

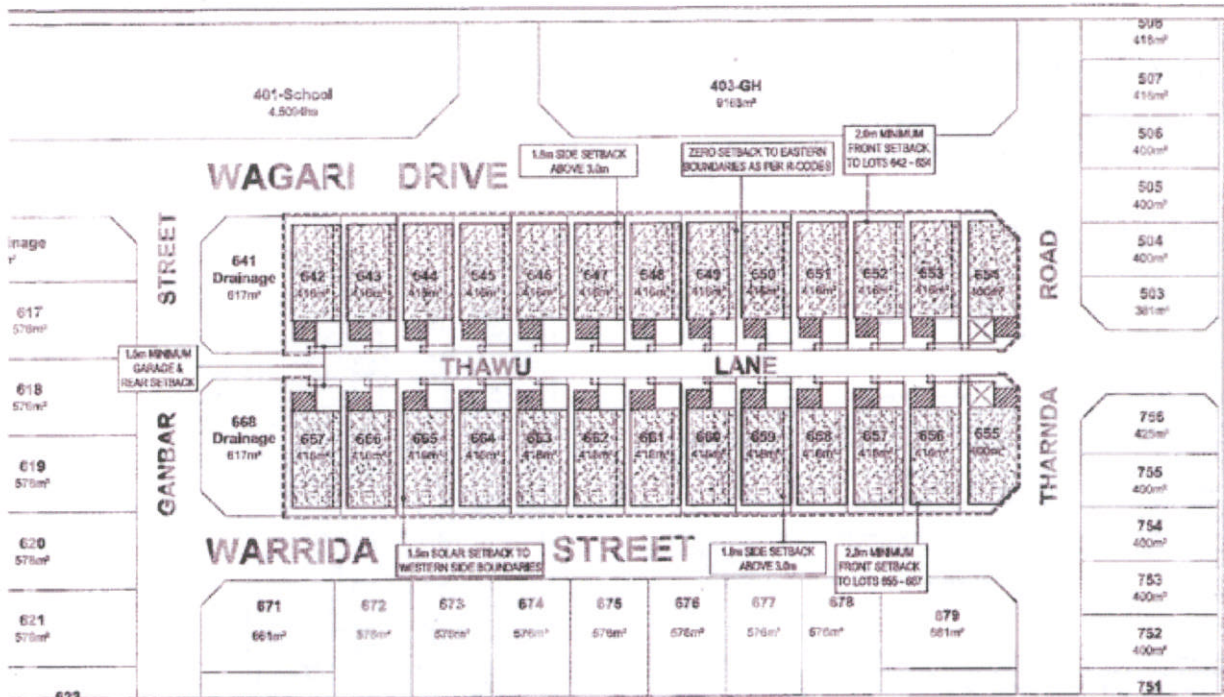
LOTS: 482 - 486 MARRI MARRI PARADE
487 - 499 BAJAMALU DRIVE
503 - 515 THARNDRA ROAD
BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE



SCALE 1: 1000 @ A3
DATE: 20.05.2009
LCP BAY SU 08-079



APPENDIX 2 - DETAILED AREA PLANS



BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS and/or the R-Codes, shall apply unless otherwise varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R00.
- One single house shall be permitted on each lot.
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne.
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable.

DETRACKS

- A minimum sight tri-angulation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport.
- A 1.5 metre side setback/seesaw setback applies to all buildings on each lot excluding awnes to a maximum depth of 0.5 metres and other minor projections as defined in the R-Codes.
- A 2 metre minimum front setback, excluding awnes to a maximum depth of 0.5 metres and other minor projections as defined in the R-Codes.
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot.
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excludes garages, carports and awnes to a maximum depth of 0.5 metres) on each lot.
- A minimum side setback of 1.5m applies to all walls higher than 2.0 metres above finished floor levels.

ACCESS

- A minimum sight tri-angulation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport.
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any storage transoms.

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes.
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breezy patterns is to be provided.

LEGEND

- subject site
- building envelope
- second storey setback (>3m)
- preferred garage location
- mandatory garage location
- no vehicular access preferred additional boat / caravan parking location
- light pole locations
- preferred bin locations (1.5x1.5m)

FENCING

- Non-permeable fencing or walls, greater than 800mm in height, are not permitted within the primary street frontage, including any adjacent corner transoms.
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of sections, including street transoms.
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling.

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.2 metres, must be provided for every dwelling. Where a store room is fully integrated with the dwelling, garage or carport, the store room may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage.
- A bin stand with unobstructed access from the rear laneway or an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway.

AIR CONDITIONING/SOLAR HOT WATER UNITS

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling.

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne.
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSE

Executive Manager Development Services
Shire of Roebourne
Date: 25/05/09

detailed area plan 'G'

LOTS: 642 - 654 WAGARI DRIVE
656 - 667 WARRIDA STREET
BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE



SCALE: 1:1000 @ A3
DATE: 20.08.2006
LOP BAY SU 06-05



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS8) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS8 and/or the R-Codes, shall apply unless otherwise varied below:

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side setback setback applies to all buildings on each lot including awnes to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, including awnes to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (including garages, carports and awnes to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.2m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any heritage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Codes outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway frontages;
- Fencing on boundaries and within setback areas that are visible from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a storeroom is fully integrated with the dwelling, garage or carport, the storeroom may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin shed with unobstructed access from the rear laneway on an impermeable base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin shed are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

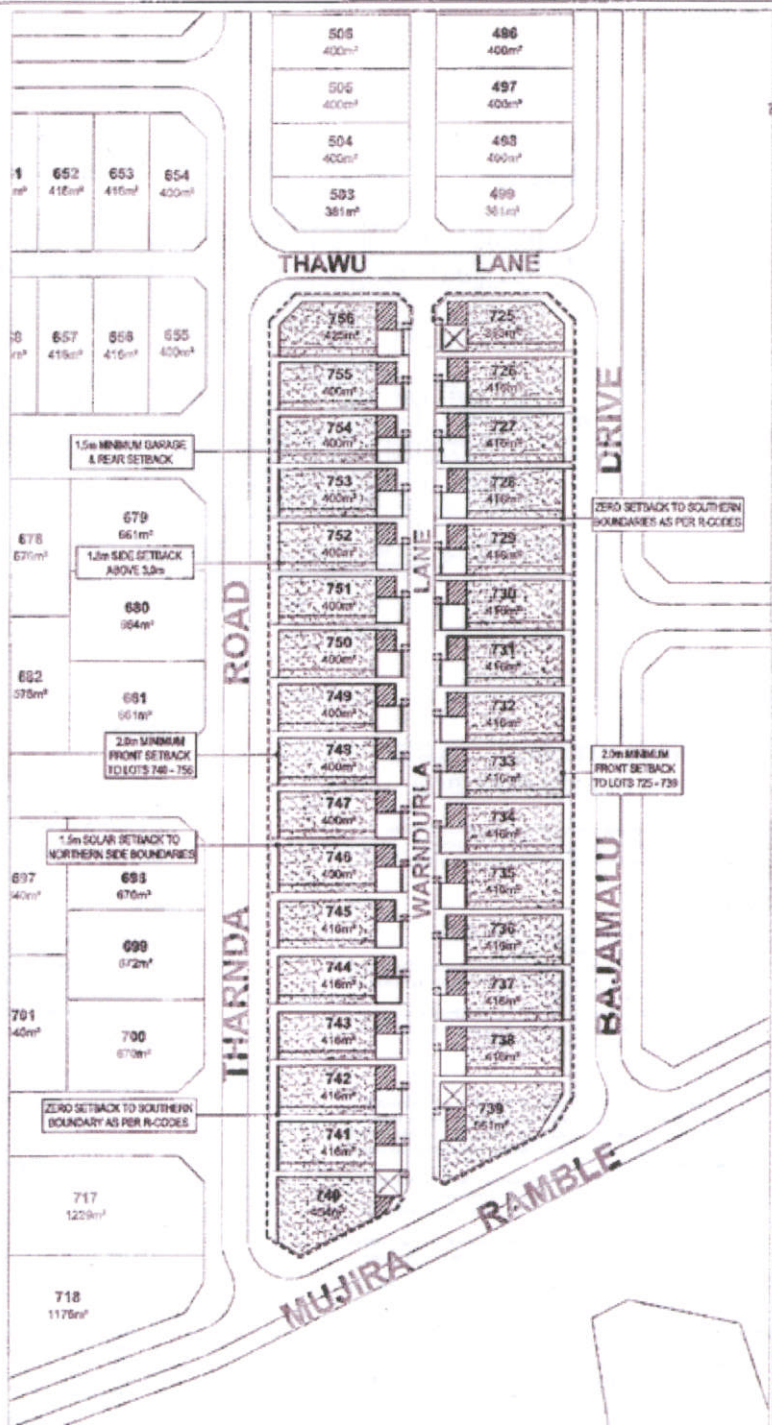
- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSED BY:

[Signature] 25/05/09
 Executive Manager, Development Services
 Shire of Roebourne



LEGEND

- subject site
- building envelope
- second storey setback (>3m)
- preferred garage location
- mandatory garage location
- no vehicular access
- preferred additional boat / caravan parking location
- light pole locations
- preferred bin locations (1.5x1.5m)

detailed area plan 'H'

LOTS: 725 - 739 BAJAMALU DRIVE
 740 - 756 THARNDRA ROAD
 BAYNTON WEST - KARATHA
 SHIRE OF ROEBOURNE



SCALE: 1:1000 @ A3
 DATE: 20.06.2009
 LCP BAY SW 08-28a



APPENDIX 2 - DETAILED AREA PLANS

BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS6) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS6 and/or the R-Codes, shall apply unless otherwise varied below.

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R20;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and one to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A maximum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side setback applies to all buildings on each lot excluding covered areas to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre maximum front setback, excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (excluding garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.8m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A maximum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any storage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

FENCING

- Non-permeable fencing or walls, greater than 900mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Solid non-permeable fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are elevated from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a store room is fully integrated with the dwelling, garage or carport, the store room may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.25m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNITS

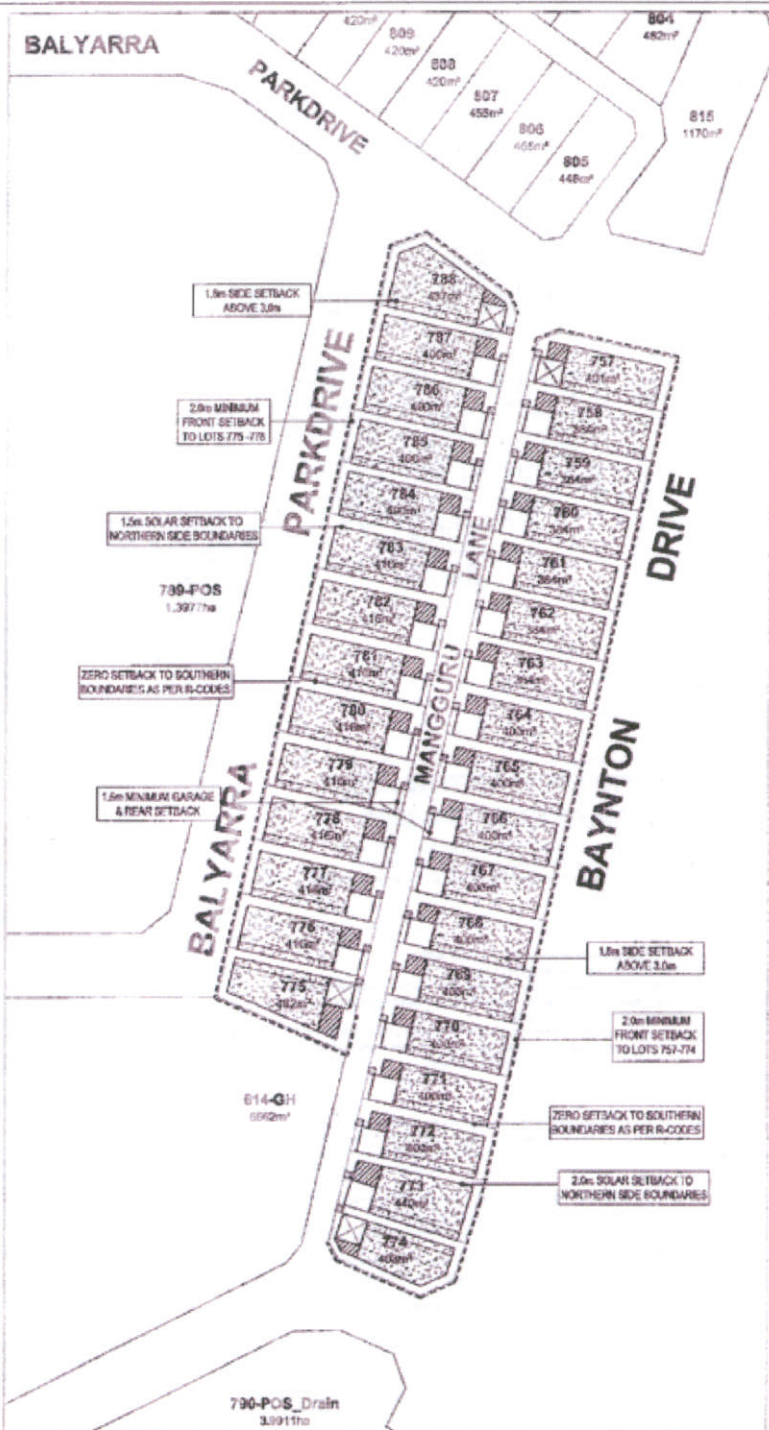
- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne.

ENDORSED BY

[Signature] 25/05/2009
Executive Manager Development Services
Shire of Roebourne



LEGEND

- subject site
- ▭ building envelope
- second storey setback (>3m)
- preferred garage location
- ☒ mandatory garage location
- no vehicular access
- ▭ preferred additional boat / caravan parking location
- light pole locations
- ▭ preferred bin locations (1.5x1.5m)

detailed area plan 'I'

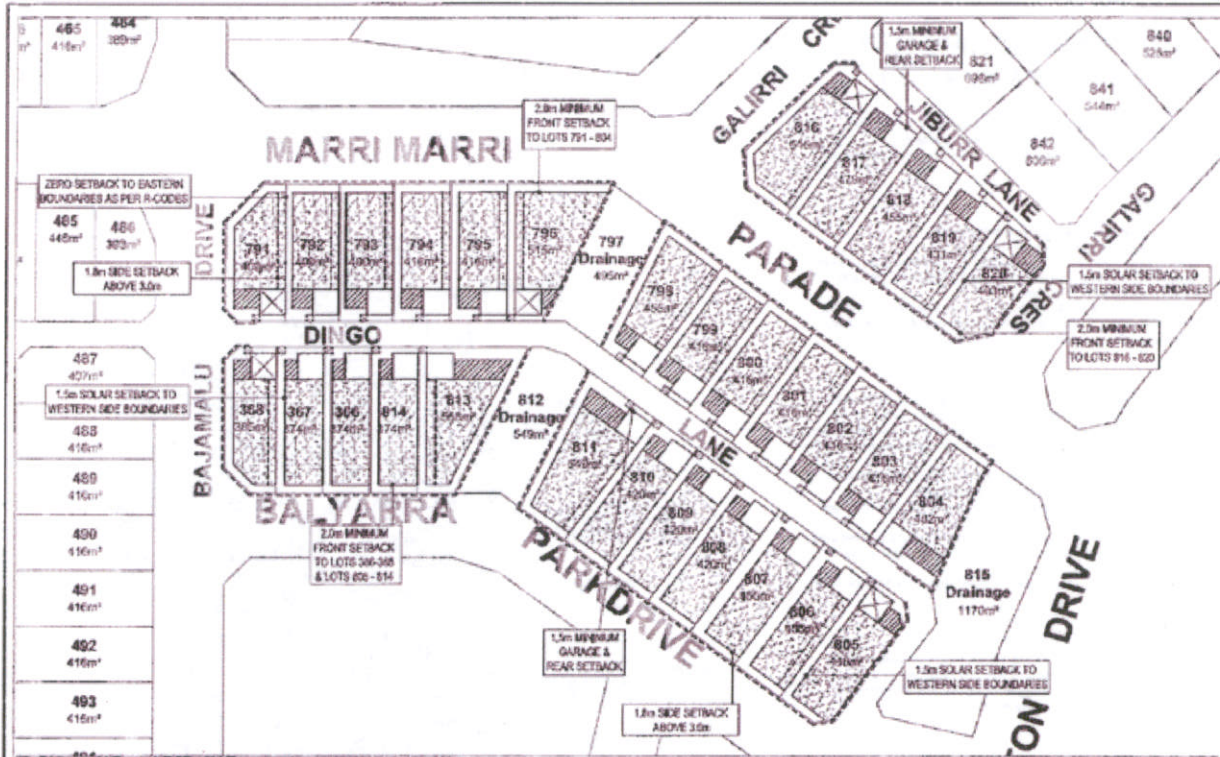
LOTS: 757 - 774 BAYNTON DRIVE
775 - 788 BALLYARRA PARKDRIVE
BAYNTON WEST - KARRATHA
SHIRE OF ROEBOURNE



SCALE 1:1000 @ A3
DATE: 20.05.2009
LOP BAY SU 06-009



APPENDIX 2 - DETAILED AREA PLANS



BAYNTON WEST COTTAGE LOTS DETAILED AREA PLAN (DAP)

The provisions of the Shire of Roebourne Town Planning Scheme (TPS) and the Residential Design Codes of Western Australia (R-Codes) or the statutory documents that may supersede TPS and/or the R-Codes, shall apply unless otherwise noted below.

DESIGN ELEMENTS

- The density coding for all lots subject to this DAP is R30;
- One single house shall be permitted on each lot;
- Double garages or carports are mandatory on all lots and are to be located in the position designated on the plan unless an alternative location is approved by LandCorp and the Shire of Roebourne;
- To encourage passive surveillance, dwellings shall be designed to address and overlook the primary street and second storey dwellings shall overlook primary and secondary streets and reserves where applicable;

SETBACKS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- A 1.5 metre side setback/enclosure setback applies to all buildings on each lot excluding reserves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A 2 metre minimum front setback, excluding eaves to a maximum depth of 0.8 metres and other minor projections as defined in the R-Codes;
- A minimum setback of 1.5 metres from the rear boundary applies to all garages and carports on each lot;
- A minimum setback of 3.0 metres from the rear boundary applies to all dwellings (includes garages, carports and eaves to a maximum depth of 0.8 metres) on each lot;
- A minimum side setback of 1.5m applies to all walls higher than 3.0 metres above finished floor levels;

ACCESS

- A minimum sight truncation of 1.5 metres above a height no greater than 0.75 metres shall be achieved on both sides of the opening to a garage or carport;
- No access, other than for pedestrians, shall be permitted within the frontage setback of any lot, including any frontage truncation;

OPEN SPACE

- The minimum open space requirement for each lot is 40% and is to be calculated in accordance with the provisions of the R-Codes;
- The R-Code outdoor living area requirements may be varied such that a minimum 20m² area with a minimum dimension of 4 metres and permanent roof cover, accessible from a living room and in a location to take advantage of summer breeze patterns is to be provided;

LEGEND

- subject site
- ▭ building envelope
- - - second storey setback (>3m)
- preferred garage location
- ⊗ mandatory garage location
- no vehicular access
- ▨ preferred additional boat / caravan parking location
- ⊙ light pole locations
- ⊞ preferred bin locations (1.5x1.5m)

FENCING

- Non-permissible fencing or walls, greater than 800mm in height, are not permitted within the primary street frontage, including any adjacent corner truncations;
- Self non-permissible fencing is permitted on secondary street frontages and on the rear boundary of each lot, including laneway truncations;
- Fencing on boundaries and within setback areas that are viewable from a street or reserve shall be constructed of materials, colours and finishes that complement the dwelling;

STORAGE AND BIN STORAGE

- Storerooms, having a minimum floor area of 4m², a minimum horizontal dimension of 1.5 metres and a minimum ceiling height of 2.4 metres, must be provided for every dwelling. Where a store room is fully integrated with the dwelling, garage or carport, the store room may be accessible from inside the dwelling provided access is also provided to the outside of the dwelling, either directly or through a carport or garage;
- A bin stand with unobstructed access from the rear laneway on an impervious base having a minimum area of 2.75m² and a minimum dimension of 1.5m shall be provided for each lot generally in the position as shown on the plan. Any gates to the bin stand are not to open out into the rear laneway;

AIR CONDITIONING/SOLAR HOT WATER UNIT S

- Solar hot water units must be integrated with and match the roof profile and pitch of the dwelling;

COMPLIANCE

- Minor modifications to these Detailed Area Plan provisions as they relate to development on individual cottage lots may be permitted, subject to approval from LandCorp and the Shire of Roebourne;
- These provisions cannot be amended or repealed without the express written consent of the Shire of Roebourne;

ENDORSED BY

[Signature] 25/05/09
Executive Manager Development Services Date
Shire of Roebourne

detailed area plan 'J'

LOTS: 366 - 368; 806 - 811; 813 - 814 BAYNTON WEST - KARATHA
791 - 796; 798 - 804; 816 - 820 MARRI MARRI PARADE
BAYNTON WEST - KARATHA
SHIRE OF ROEBOURNE



SCALE 1: 1000 (±) 3%
DATE: 23.05.2009
LOP BAY SW 05-10a

